

Practical Completion Inspection

Provided By



SURE Building Inspections

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Inspection Address



Report Information

Client Information

Client Name

Email

Total Fee

Inspection Information

Report/Agreement #

Inspection Date:

Inspection Time:

Practical Completion Inspection

Introduction

This is a Practical Completion stage construction report. The purpose of this report is to document the progress and/or completion of a particular area in a construction process. This report is a record of construction as of the inspection date.

The Scope of the Inspection

This report complies with Australian Building Standards AS 4349.0-2007: Inspection of Buildings General Requirements.

Only the client as detailed in "Client Information" should rely on this report. If this report has been issued to you by a third party, you are not to rely on its findings or content.

In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors, this inspection report does not waive any of these requirements and cannot be used for this purpose.

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

Further information pertaining to the scope of this report can be found on our website: surebuildinginspections.au

Special Requirements

Unless stated otherwise in the report it is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Pre Inspection Agreement

Unless stated otherwise in the report, it is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-inspection agreement and the scope of this inspection report. The agreement can be reviewed here: surebuildinginspections.au/terms-conditions

Areas to be Inspected and Restrictions

The building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the inspection shall include:

- (a) The interior of the building
- (b) The roof space
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Items cannot be destructively probed or hit without the written permission of the property owner.

Very Important Note to the Client

In the event that areas where access could not be gained e.g. locked areas or rooms where physical access could not be gained, defects or damage may be present but not seen. Access should be provided and a follow up or re-inspection should be undertaken.

Utility Services

Utility services (water, gas, electricity) connected to the property on the date of inspection allow for testing of connected items (e.g. taps, lights, stove, etc). Disconnected utility services will prevent the inspector fully assessing affected items, whereby it is strongly recommended to connect the affected utility to allow for testing.

Warranties and Defects

The builder should generally provide the following to the owner or owner's agent at the handover stage:

- Final certification/occupation Certificate from certifier/council
- Gas/Plumbing compliance certificate/s
- Electrical/smoke alarms compliance certificate/s
- Practical completion certificate which includes a defects document with reference to the defects liability and warranty period including expiry date
- Home warranty insurance certificate
- Certification and relevant information regarding termite management system
- User Manuals for all appliances and installations
- Remote controls for garage
- Keys to the property

Defect Rectification

The Builder prior to handover or settlement, or as agreed by the owner and builder should rectify any outstanding items/defects.

If you are required to sign a Practical Completion Certificate, or an authority to release the final payment you should ensure that any outstanding items/defects are documented 'to be rectified by the builder' on a defects document, which should be signed and dated by the builder and the owner, or owners agent.

Note: If there are any items that the builder does not agree with, these should also be noted on the defects document. The practical completion document should mention the provision of a statutory defects period.

The defects liability period generally commences from the date the practical completion certificate is signed. You should confirm the period and expiry date with the builder.

There should be provision in your contract for a final inspection by the owner prior to settlement. A final inspection ensures any defects and/or incomplete work have been satisfactorily completed, and any minor defects and/or incomplete work that may still exist at handover/settlement are noted, prior to final payment. You should check your building contract in relation to any practical completion/handover requirements.

Defect Liability Period

As a general rule the building is covered for structural and other defects for a specific period, we recommend you refer to your building contract to confirm the warranty period and check with your builder regarding the provision of any warranties that may be applicable.

We strongly recommend you contact us to conduct a Warranty Defect Inspection before the warranty period expires.

Warranties under building law

Builders and tradespeople must honour the implied warranties in the Domestic Building Contracts Act, which require that they:

- Carry out the work in a proper and workmanlike manner, in accordance with the plans and specifications set out in the contract
- Ensure all materials supplied are good and suitable for the purpose and are new, unless otherwise stated in the contract
- Carry out the work in accordance with all laws and legal requirements
- Carry out the work with reasonable care and skill and complete works by the date (or within the period) specified by the contract
- Ensure new homes, extensions, renovations, repairs and kit homes (or similar) are suitable for occupation when completed
- Ensure other types of work and the material used are reasonably fit for the intended purpose

Additional Note

We strongly recommend you arrange insurance on the property from the date of handover, as the builder's insurance will not cover you for any loss or damage after that time.

Please read the entire report. Refer to the terms & conditions as they form part of the report.

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Summary Of Minor Defects

Below is a summary of defects other than Major defects.

The # denotes to the defect number in the report

Section	Location	Name	Comment
SITE	Fences & Gates	Overall Condition	#1. In progress - Side gate not yet installed. Recommend re-inspection when completed.
SITE	Fences & Gates	Overall Condition	#2. Building debris/marks on area/s of fence.
SITE	Fences & Gates	Overall Condition	#3. Sections of fencing require cleaning.
SITE	Retaining Walls	Overall Condition	#4. Building debris/marks on area/s of the retaining walls.
SITE	Landscaping	Overall Condition	#5. In progress. Front landscaping incomplete. Recommend re-inspection when completed.
PLUMBING	Drains	Progress to Plans	#6. In progress. Recommend re-inspection when completed.
PLUMBING	Drains	Progress to Plans	#7. Drain cover not installed to drain.
EXTERIOR	External Door Components	Overall Condition	#8. Marks to door frame.
EXTERIOR	External Door Components	Overall Condition	#9. Fly screens not installed at this stage.
EXTERIOR	External Door Components	Overall Condition	#10. Frame tape to be removed.
EXTERIOR	Exterior Windows	Overall Condition	#11. Marks to window frame.
EXTERIOR	Exterior Windows	Overall Condition	#12. Fly screens not installed at this stage.
EXTERIOR	Exterior Windows	Overall Condition	#13. Incomplete paint to window lintels.
EXTERIOR	Eaves	Eave Condition	#14. Paint touch ups required.
EXTERIOR	Fascia and Barge Boards	Overall Condition	#15. Clean required (scuffs and debris).
EXTERIOR	Alfresco Area 1	Overall Condition	#16. Paint touch ups required.
EXTERIOR	Alfresco Area 2	Overall Condition	#17. Damage observed to eave linings.
EXTERIOR	Durable Notice	Termite Barrier Details	#18. The durable notice is not installed in the meter box.
GARAGE	Garaging	Door Findings	#19. Paint touch ups required.

GARAGE	Garaging	Door Findings	#20. Roller door was not tested - No remote / switch.
GARAGE	Garaging	Ceiling Findings	#21. Paint touch ups required as indicated by markers
GARAGE	Garaging	Internal Wall Findings	#22. Wall mounted roller door remote not installed.
INTERIORS	Doors	Front Entry Doors	#23. Paint touch ups required as indicated by markers to plugged areas.
INTERIORS	Entry/Foyer	Ceiling	#24. Cornice join cracking observed.
INTERIORS	Entry/Foyer	Ceiling	#25. Mitre join cracking observed.
INTERIORS	Entry/Foyer	Ceiling	#26. Light Not operating.
INTERIORS	Entry/Foyer	Ceiling	#27. Nail popping observed to ceiling lining areas.
INTERIORS	OOA	Door	#28. Paint touch ups required as indicated by markers
INTERIORS	OOA	Ceiling	#29. Paint touch ups required.
INTERIORS	OOA	Ceiling	#30. Cornice join cracking observed.
INTERIORS	OOA	Walls	#31. Paint touch ups required.
INTERIORS	OOA	Windows	#32. Paint / white set / plaster marks on frame.
INTERIORS	IH Store	Door	#33. Paint touch ups required as indicated by markers
INTERIORS	Dining Room	Door	#34. Marks to frame/s.
INTERIORS	Dining Room	Walls	#35. Paint touch ups required.
INTERIORS	Dining Room	Windows	#36. Paint / white set / plaster marks on frame.
INTERIORS	Media Room	Ceiling	#37. Cornice join cracking observed.
INTERIORS	Media Room	Walls	#38. Paint touch ups required.
INTERIORS	Media Room	Windows	#39. Paint / white set / plaster marks on frame.
INTERIORS	Bedroom 1	Door	#40. Paint touch ups required as indicated by markers
INTERIORS	Bedroom 1	Ceiling	#41. Paint touch ups required.
INTERIORS	Bedroom 1	Ceiling	#42. Cornice join cracking observed.
INTERIORS	Bedroom 1	Walls	#43. Paint touch ups required.
INTERIORS	Bedroom 1	Walls	#44. Light/Powerpoint covers not installed.
INTERIORS	Bedroom 1	Walls	#45. Patch and paint required to areas of wall linings.
INTERIORS	Bedroom 1	Walls	#46. Painting Incomplete.
INTERIORS	Bedroom 2	Door	#47. Paint touch ups required as indicated by markers
INTERIORS	Bedroom 2	Door	#48. Marks to frame/s.
INTERIORS	Bedroom 2	Ceiling	#49. Paint touch ups required.
INTERIORS	Bedroom 2	Walls	#50. Paint touch ups required.
INTERIORS	Bedroom 2	Walls	#51. Patch and paint required to areas of wall linings.

INTERIORS	Bedroom 2	Walls	#52. Sanding and paint touch ups to area/s.
BATHROOM(S)	Bath Room	Door	#53. Paint touch ups required.
BATHROOM(S)	Bath Room	Ceiling	#54. Paint touch ups required.
BATHROOM(S)	Bath Room	Ceiling	#55. Cornice join cracking observed.
BATHROOM(S)	Bath Room	Ceiling	#56. Incomplete paint work to area/s of ceiling lining.
BATHROOM(S)	Bath Room	Walls	#57. Paint touch ups required.
BATHROOM(S)	Bath Room	Window	#58. Paint / grout marks on windows frame.
BATHROOM(S)	Bath Room - Ensuite 1	Ceiling	#59. Cornice join cracking observed.
BATHROOM(S)	Bath Room - Ensuite 1	Ceiling	#60. Mitre join cracking observed.
BATHROOM(S)	Bath Room - Ensuite 1	Walls	#61. Paint touch ups required.
BATHROOM(S)	Bath Room - Ensuite 1	Window	#62. Paint / grout marks on windows frame.
BATHROOM(S)	Bath Room - Ensuite 2	Ceiling	#63. Paint touch ups required.
BATHROOM(S)	Bath Room - Ensuite 2	Walls	#64. Paint touch ups required.
BATHROOM(S)	Bath Room - Ensuite 2	Window	#65. Paint / grout marks on windows frame.
KITCHEN & LAUNDRY	Kitchen	Ceiling	#66. Cornice join cracking observed.
KITCHEN & LAUNDRY	Kitchen	Walls	#67. Paint touch ups required.
KITCHEN & LAUNDRY	Kitchen	Window	#68. Paint / grout marks on windows frame.
KITCHEN & LAUNDRY	Kitchen	Window	#69. Frame tape to be removed.
KITCHEN & LAUNDRY	Kitchen	Window	#70. Dent on frame.
KITCHEN & LAUNDRY	Kitchen	Sink & Joinery	#71. Poor finish to adjustable bench section. Adjustment required.
KITCHEN & LAUNDRY	Kitchen	Sink & Joinery	#72. Marks/Scratches to joinery.
KITCHEN & LAUNDRY	Laundry	Door	#73. Paint touch ups required.
KITCHEN & LAUNDRY	Laundry	Ceiling	#74. Cornice mitres have separated.
KITCHEN & LAUNDRY	Laundry	Walls	#75. Paint touch ups required.

ROOF VOID	Roof Void Findings	Roof Framing Defects	#76. Exhaust fan ducting observed to not be connected.
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INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Direction House Faces

The dwelling faces East for the purposes of this inspection report.

Building Type

The dwelling is a Residential House.

Construction Type

The dwelling is of full (Double) brick construction

Roof Cladding

The roof is metal.

Roof Design

The roof is a Pitched roof design.

Footings Type

Slab on ground footing construction.

Storeys

Single level dwelling.

People Present

Site Supervisor/Manager opened property for inspection and left site.

Restricted Areas

Area Where Inspection Was Restricted

Roof void obstructions

Cavity walls

Utility Status

Water

The water was connected.

Electricity

Electricity to the dwelling was connected.

Gas

Gas to the dwelling was connected.



SITE

Driveway

Materials

The driveway is paved.

SITEWORKS (PAVING AND LANDSCAPING)

Cracking in concrete paving and cracking in concrete is common and is not always attributable to unsatisfactory workmanship. Common causes of cracking include shrinkage stress, stress due to trees, commercial or heavy vehicle traffic, soil movement due to changes in the moisture content as a result of garden watering or drainage problems.

Cracking not attributable to the workmanship of the builder (e.g. trees planted too close to paving, commercial or heavy duty vehicle traffic, use of sprinkler system, etc.) is not a defect.

Cracking in concrete verandas, garages, carports, paving, patios, driveways, etc. where the builder did not make allowances for shrinkage or general movement of the concrete (e.g. control joints where required around penetrations such as verandas posts, pipes etc.) shall be assessed in accordance with AS 3727 – Guide to residential pavements, Table: 1 Performance criteria.

Overall Condition

The driveway is complete in accordance with plans and acceptable.



Paths

Overall Condition

The driveway is complete in accordance with plans and acceptable.



Fences & Gates

Overall Condition

#1. In progress - Side gate not yet installed.

Recommend re-inspection when completed.

#2. Building debris/marks on area/s of fence.

#3. Sections of fencing require cleaning.





Retaining Walls

Material

Limestone block construction.

Overall Condition

#4. Building debris/marks on area/s of the retaining walls.





Surface Drainage

Overall Condition

There was no visible evidence of excess ponding or fall towards the property walls at the time of the inspection. Regardless, it is difficult to ascertain in dry conditions and it is therefore recommended that you assess drainage during and after a rainfall period to be able to sufficiently ascertain if any problems exist in this regard.

Recommendation: If water is ponding around perimeter walls and paths or appears to be flowing into the footings/ foundations, engage a landscaper to repair. All drains should be regularly checked and kept clean of debris to allow surface water to be carried away from the dwelling.

Landscaping

Overall Condition

#5. In progress. Front landscaping incomplete.

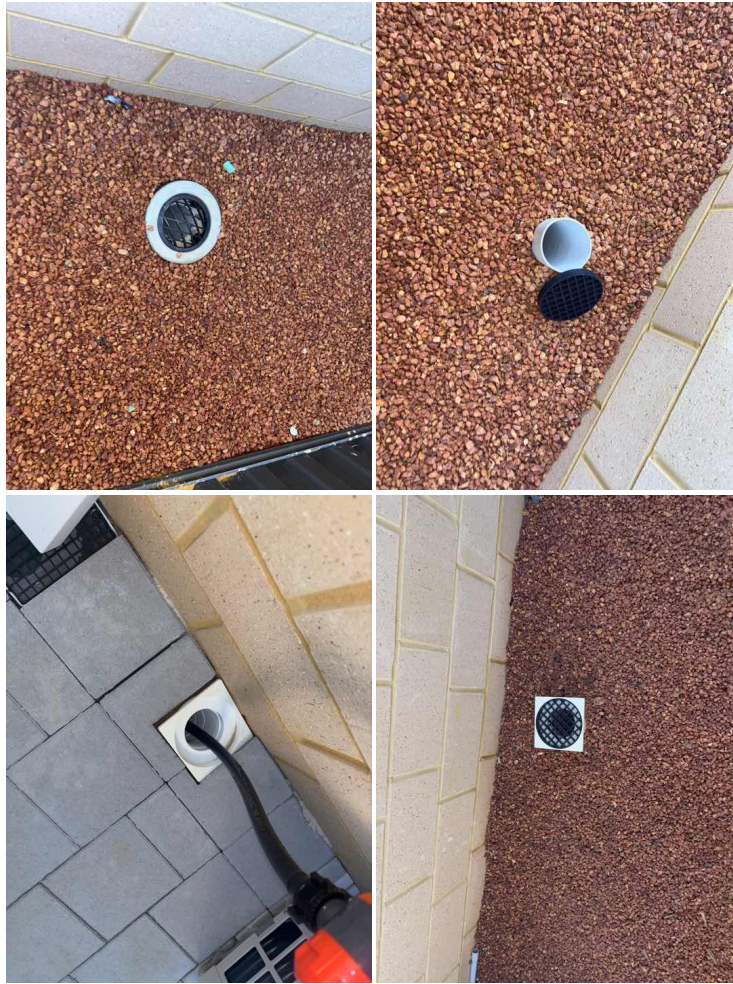
Recommend re-inspection when completed.



Drains**Progress to Plans**

#6. In progress. Recommend re-inspection when completed.

#7. Drain cover not installed to drain.

**Hot Water Unit****System Type**

The hot water unit is a gas instantaneous system.

**Overall Condition**

The hotwater system has been installed in accordance with plans and is operating correctly.



ELECTRICAL

Meter Box

Overall Condition

The meter box has been installed in accordance with plans. RCD testing is not within the scope of this inspection.

External Lights

Overall Condition

The external lights have been installed in accordance with plans and are operating correctly.

Internal Lights

Overall Condition

Defect - Entry light not operating.

External Polarity Testing

Overall Condition

The external power points have been tested and are operating correctly.

Internal Polarity Testing

Overall Condition

The internal power points have been tested and are operating correctly.

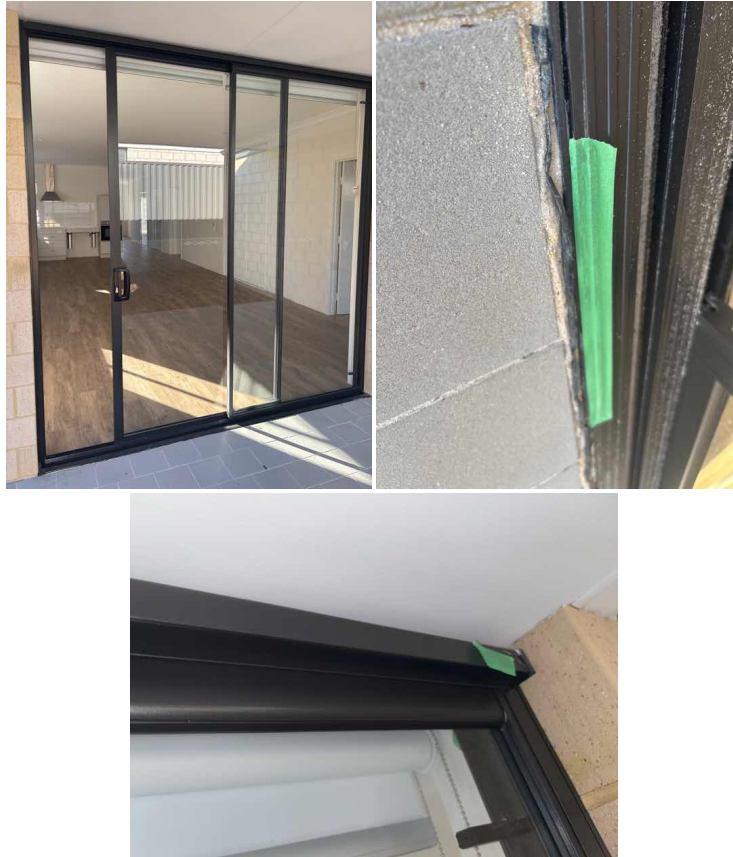


EXTERIOR

External Door Components

Overall Condition

- #8. Marks to door frame.
- #9. Fly screens not installed at this stage.
- #10. Frame tape to be removed.



Exterior Windows

Overall Condition

- #11. Marks to window frame.
- #12. Fly screens not installed at this stage.
- #13. Incomplete paint to window lintels.



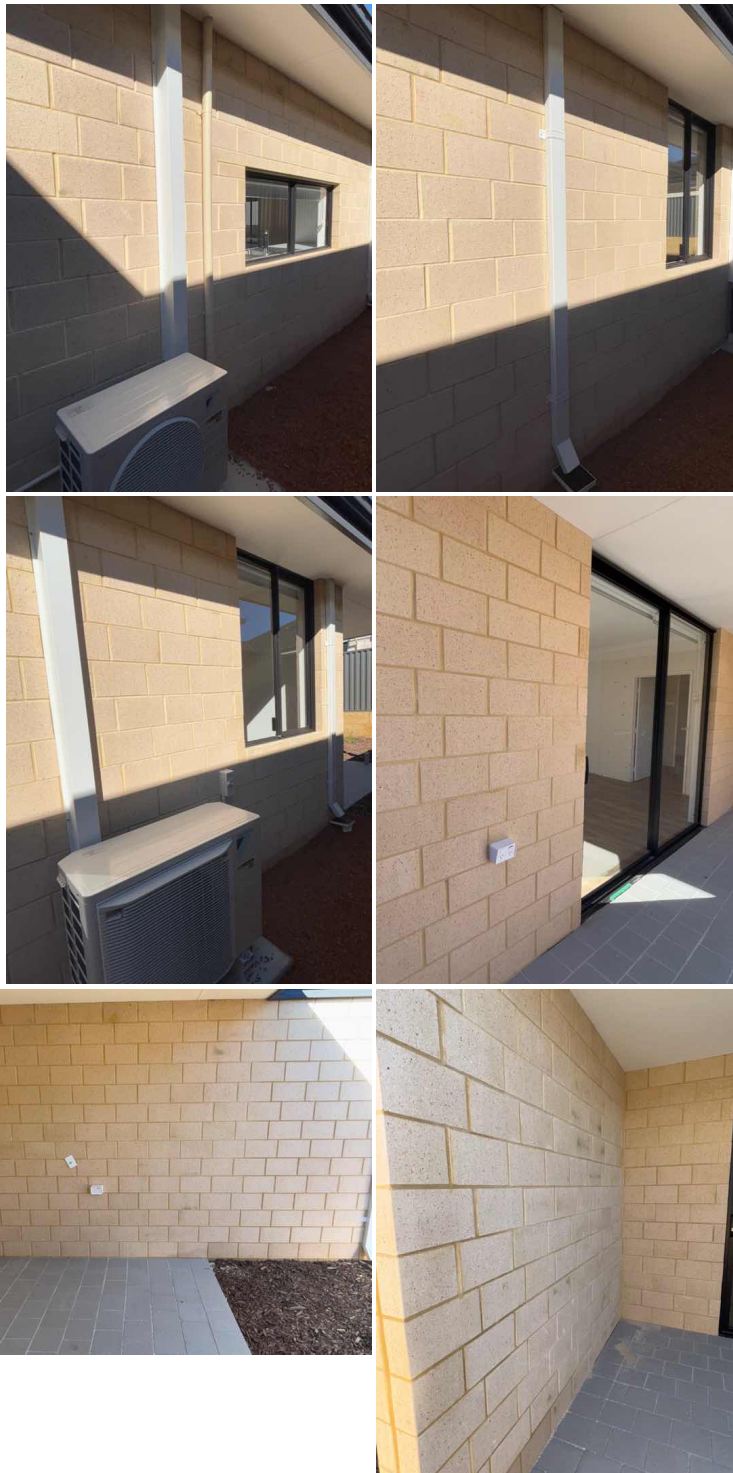


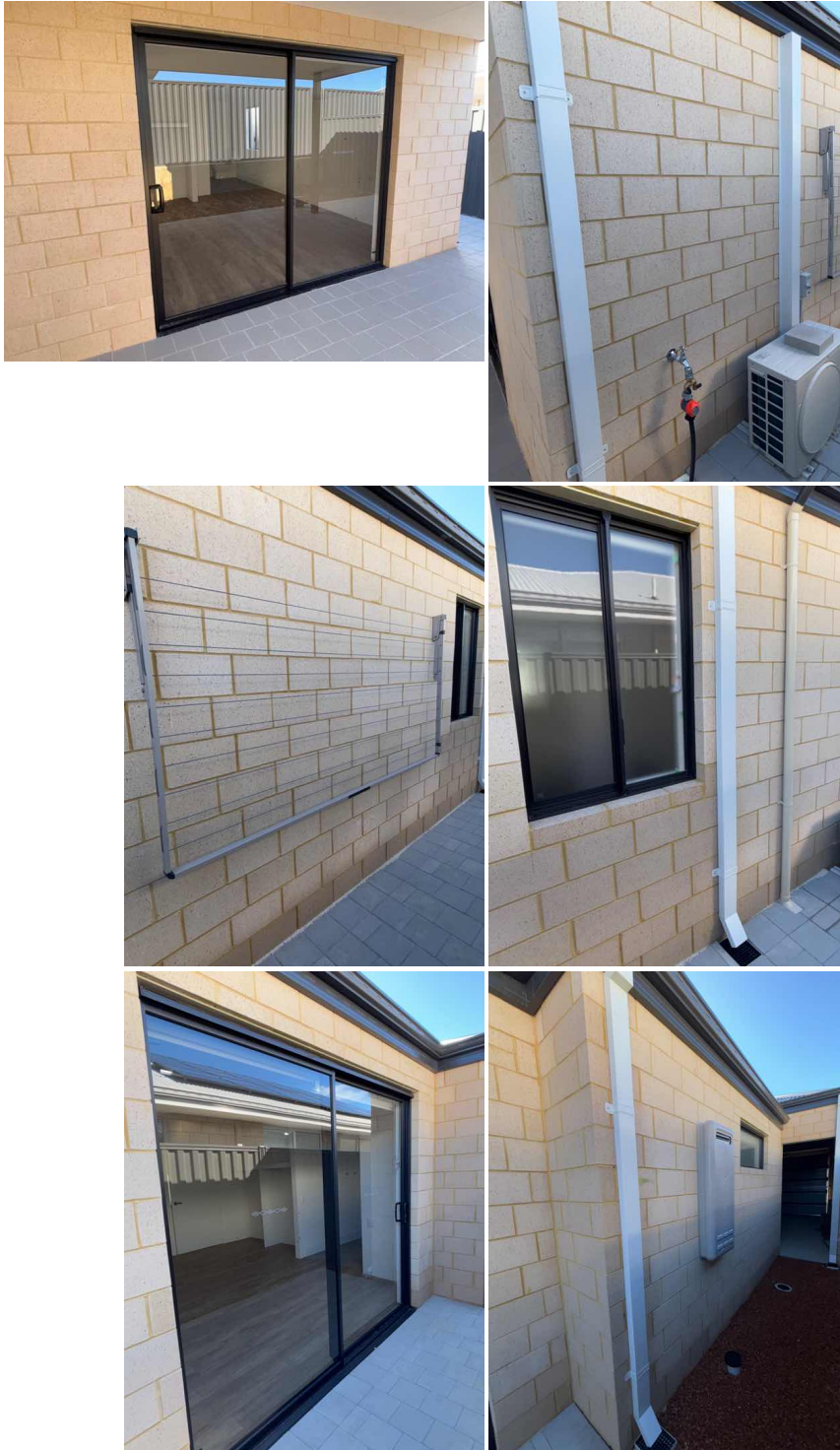
Exterior Walls

Exterior Wall Material

Combination of brick and rendered masonry.







Eaves

Eave Condition

#14. Paint touch ups required.



Fascia and Barge Boards

Overall Condition

#15. Clean required (scuffs and debris).



Alfresco Area 1

Overall Condition

#16. Paint touch ups required.





Alfresco Area 2

Overall Condition

#17. Damage observed to eave linings.



Durable Notice

Termite Barrier Details

#18. The durable notice is not installed in the meter box.





ROOF AND GUTTER

Roof Covering

Roof Covering Type

Metal roof cladding/sheeting.



Overall Condition

The roof cover is complete in accordance with plans and acceptable.

Note: In the absence of rainfall there is no guarantee that the roof won't leak.







Guttering

Overall Condition

Gutters are complete in accordance with plans and acceptable.

Down Pipes

Overall Condition

The downpipes are complete in accordance with plans and acceptable.



GARAGE

Garaging

Overall Condition

Rectification work required



Door Findings

#19. Paint touch ups required.

#20. Roller door was not tested - No remote / switch.



Ceiling Findings

#21. Paint touch ups required as indicated by markers



Internal Wall Findings

#22. Wall mounted roller door remote not installed.





INTERIORS

Doors

Front Entry Doors

#23. Paint touch ups required as indicated by markers to plugged areas.



Entry/Foyer

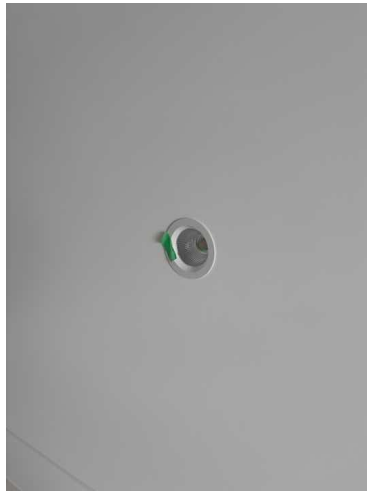
Overall Condition

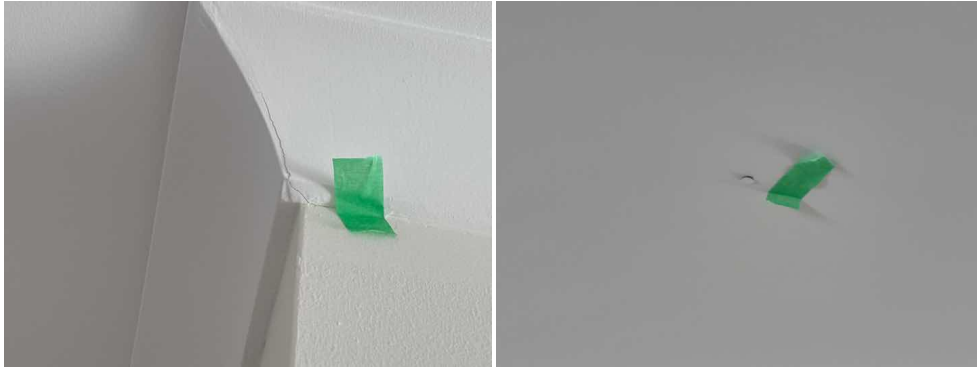
Rectification work required



Ceiling

- #24. Cornice join cracking observed.
- #25. Mitre join cracking observed.
- #26. Light Not operating.
- #27. Nail popping observed to ceiling lining areas.





OOA

Overall Condition

Rectification work required



Door

#28. Paint touch ups required as indicated by markers



Ceiling

#29. Paint touch ups required.

#30. Cornice join cracking observed.



Walls

#31. Paint touch ups required.



Windows

#32. Paint / white set / plaster marks on frame.



Smoke Alarm

Was a Smoke Alarm Fitted

Yes 5 smoke alarms were sighted but not tested.

Legislation requires smoke Alarms to be installed. Check with your local council regarding type, locations and other related requirements.

IH Store

Overall Condition

Rectification work required



Door

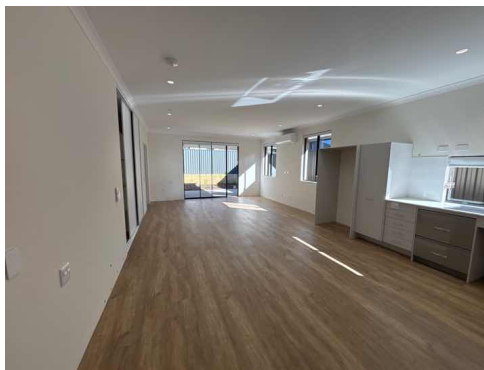
#33. Paint touch ups required as indicated by markers



Dining Room

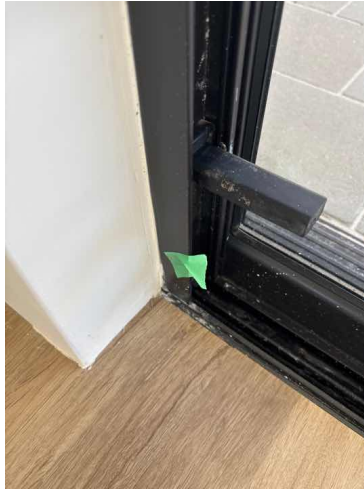
Overall Condition

Rectification work required



Door

#34. Marks to frame/s.



Walls

#35. Paint touch ups required.



Windows

#36. Paint / white set / plaster marks on frame.



Media Room

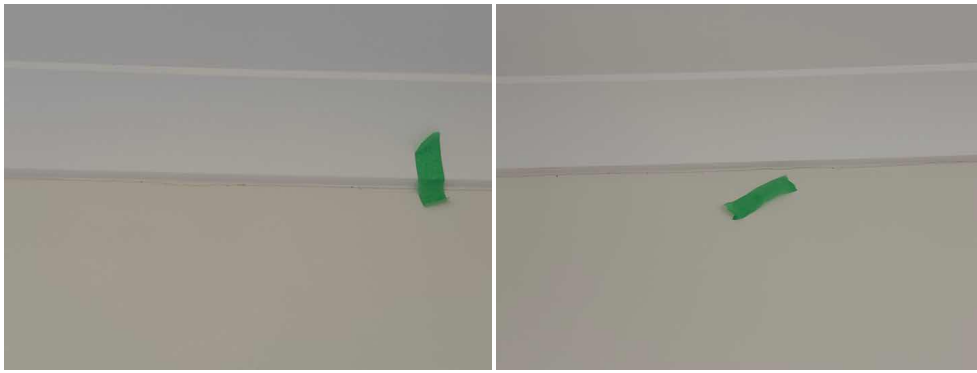
Overall Condition

Rectification work required



Ceiling

#37. Cornice join cracking observed.



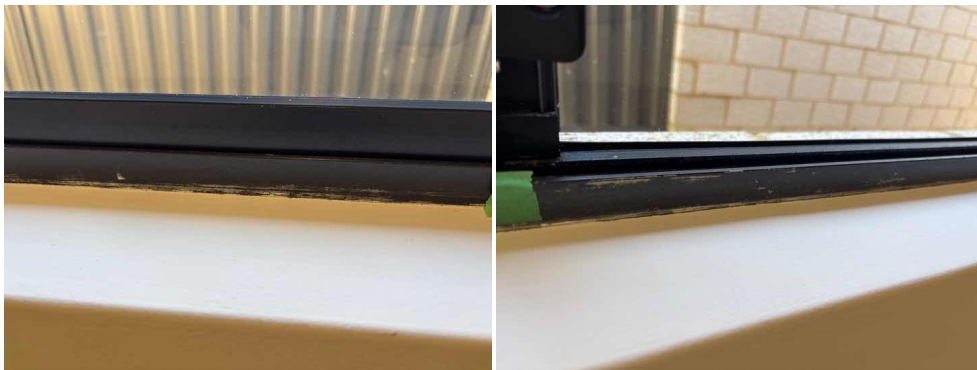
Walls

#38. Paint touch ups required.



Windows

#39. Paint / white set / plaster marks on frame.





Bedroom 1

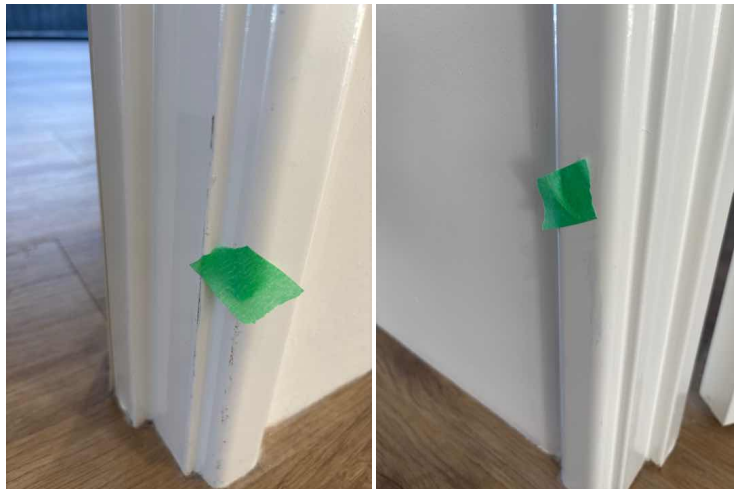
Overall Condition

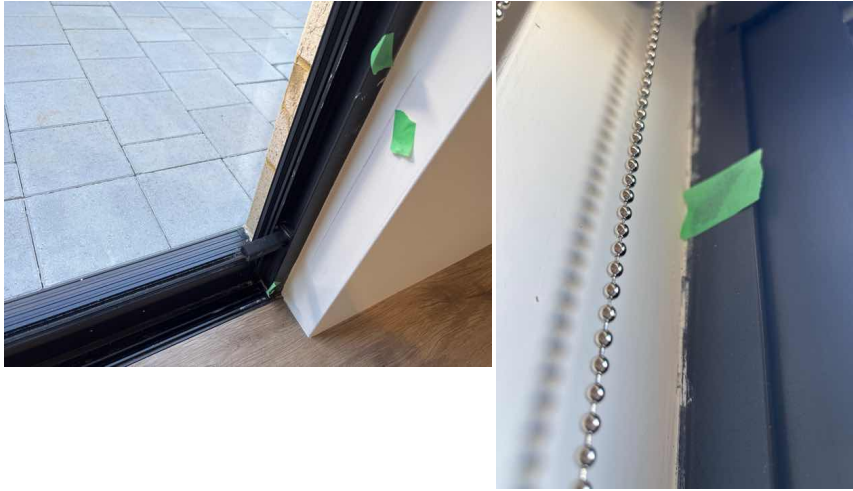
Rectification work required



Door

#40. Paint touch ups required as indicated by markers

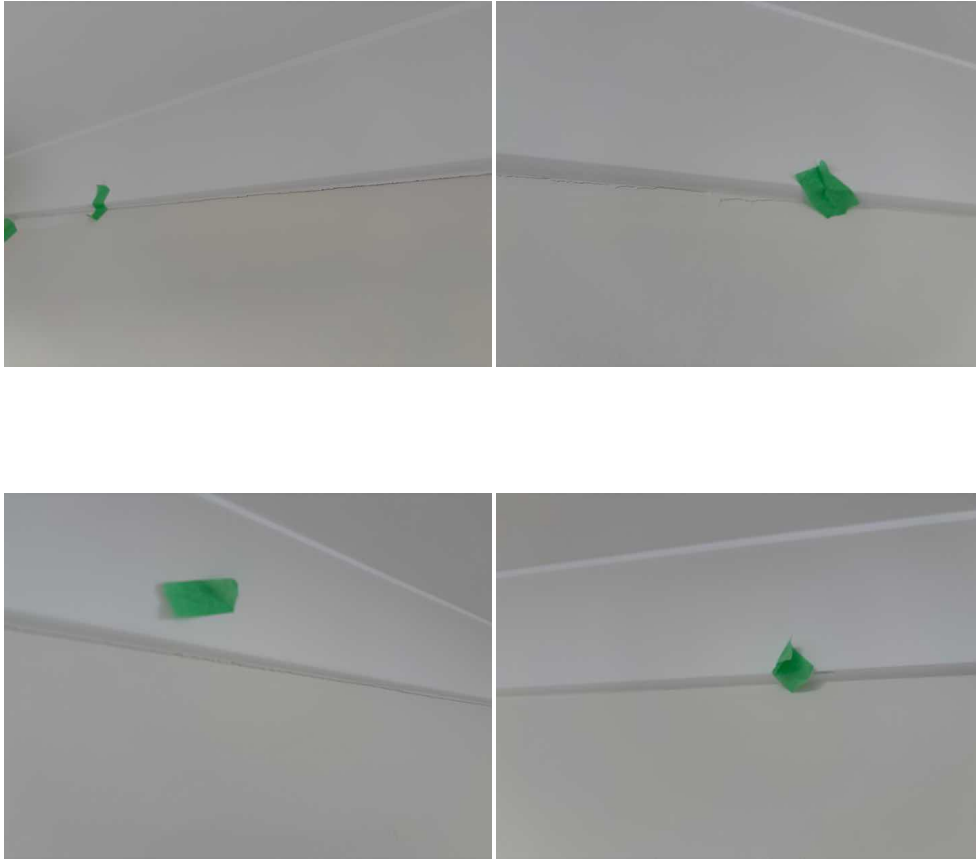




Ceiling

#41. Paint touch ups required.

#42. Cornice join cracking observed.



Walls

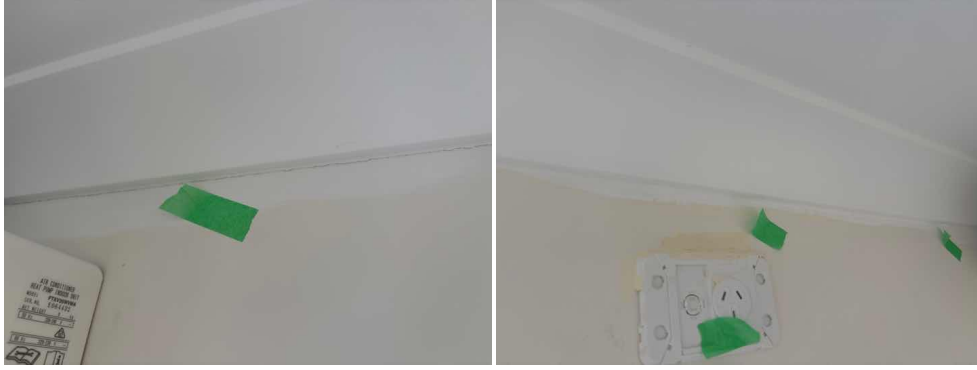
#43. Paint touch ups required.

#44.

Light/Powerpoint covers not installed.

#45. Patch and paint required to areas of wall linings.

#46. Painting Incomplete.



Bedroom 2

Overall Condition

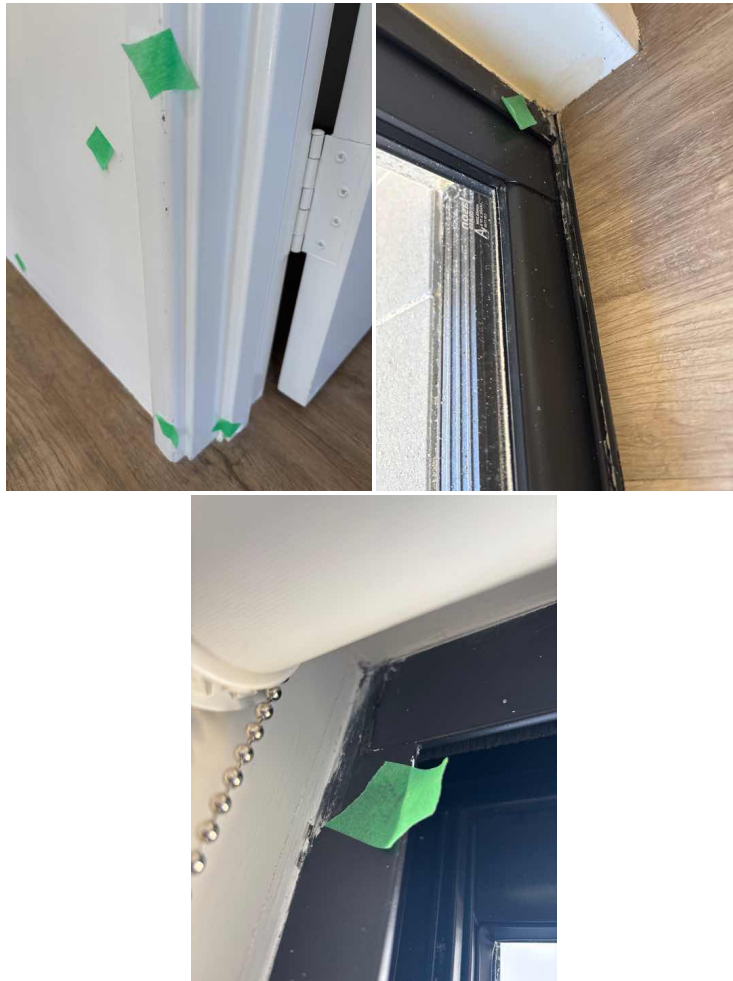
Rectification work required



Door

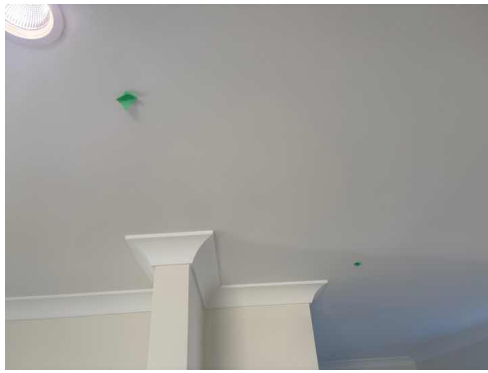
#47. Paint touch ups required as indicated by markers

#48. Marks to frame/s.



Ceiling

#49. Paint touch ups required.

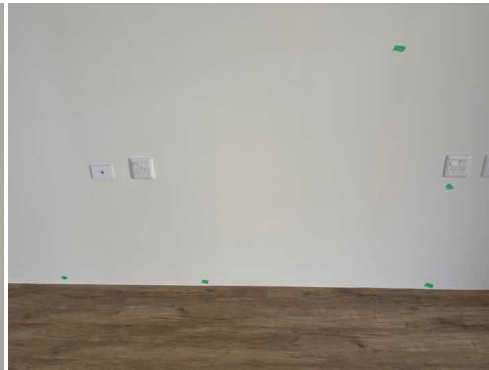


Walls

#50. Paint touch ups required.

#51. Patch and paint required to areas of wall linings.

#52. Sanding and paint touch ups to area/s.





BATHROOM(S)

Bath Room

Overall Condition

Rectification work required.



Door

#53. Paint touch ups required.



Ceiling

#54. Paint touch ups required.

#55. Cornice join cracking observed.

#56. Incomplete paint work to area/s of ceiling lining.



Walls

#57. Paint touch ups required.



Window

#58. Paint / grout marks on windows frame.



Bath Room - Ensuite 1

Overall Condition

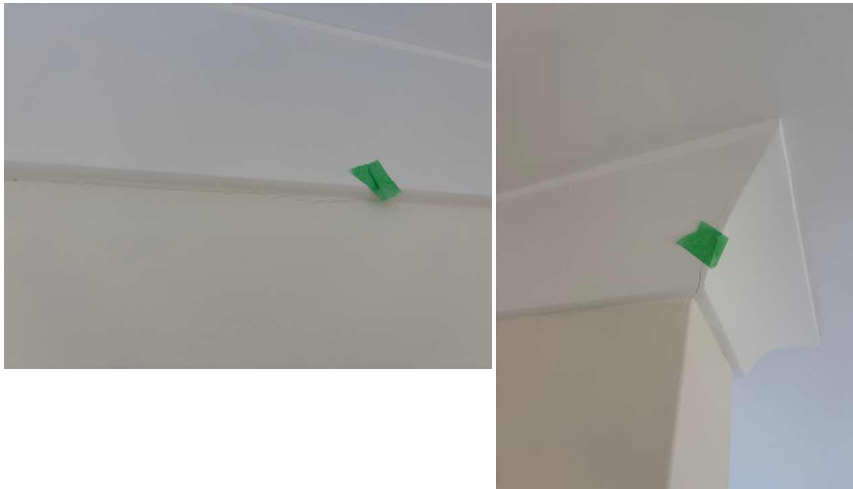
Rectification work required.



Ceiling

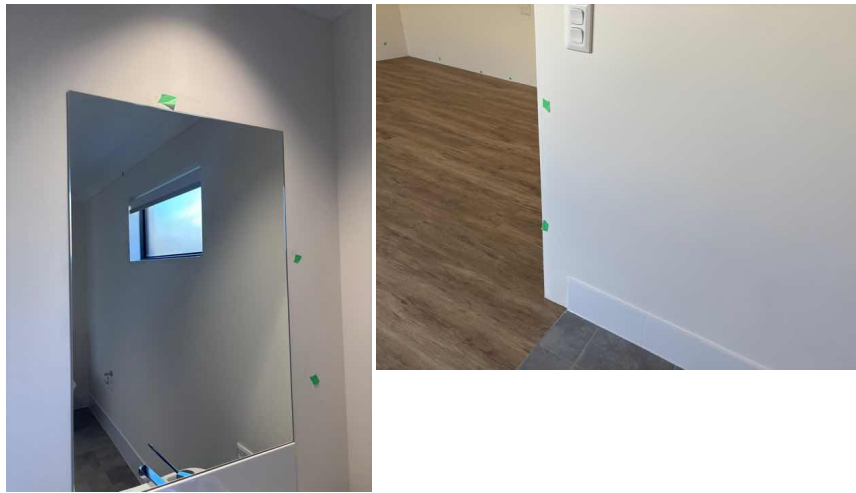
#59. Cornice join cracking observed.

#60. Mitre join cracking observed.



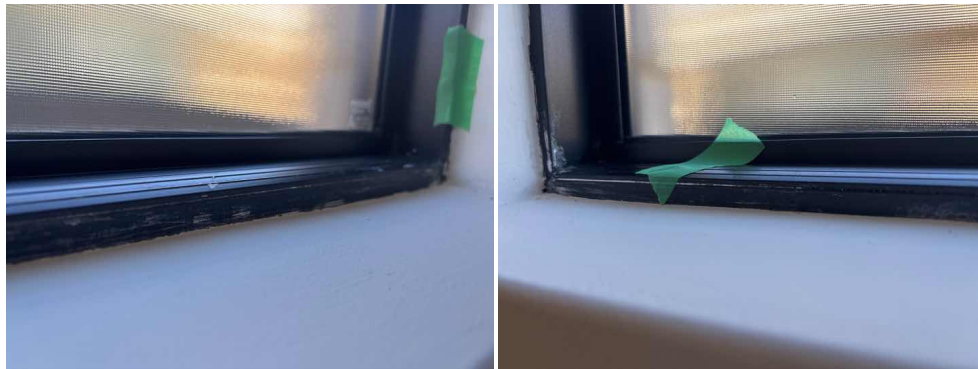
Walls

#61. Paint touch ups required.



Window

#62. Paint / grout marks on windows frame.



Bath Room - Ensuite 2

Overall Condition

Rectification work required.



Ceiling

#63. Paint touch ups required.



Walls

#64. Paint touch ups required.



Window

#65. Paint / grout marks on windows frame.





KITCHEN & LAUNDRY

Kitchen

Overall Condition

Rectification work required.



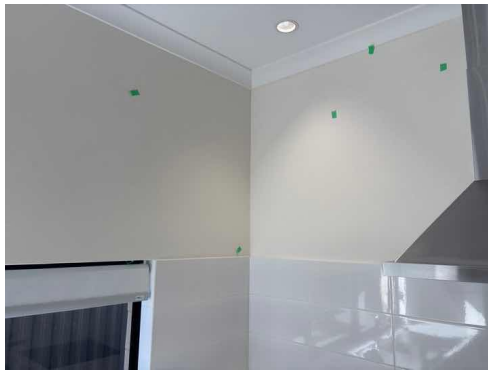
Ceiling

#66. Cornice join cracking observed.



Walls

#67. Paint touch ups required.



Window

#68. Paint / grout marks on windows frame.

#69. Frame tape to be removed.

#70. Dent on frame.



Sink & Joinery

#71. Poor finish to adjustable bench section. Adjustment required.

#72. Marks/Scratches to joinery.



Laundry

Overall Condition

Rectification work required.



Door

#73. Paint touch ups required.



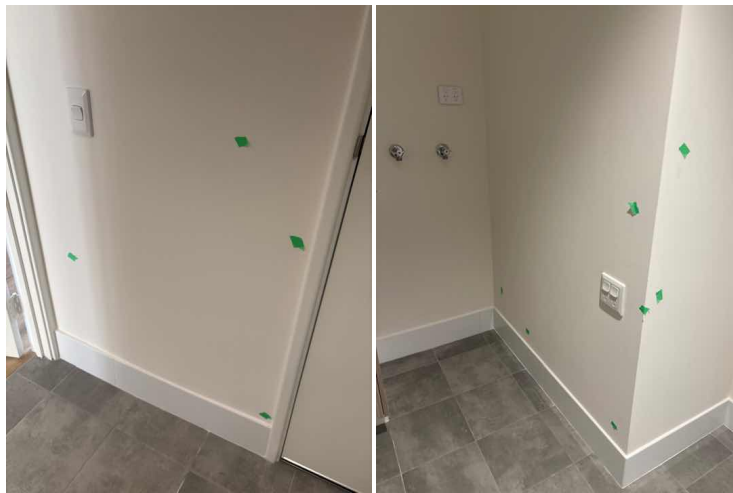
Ceiling

#74. Cornice mitres have separated.



Walls

#75. Paint touch ups required.





ROOF VOID

Roof Void Findings

Restricted Areas

There is insulation present in the roof space/void. This is preventing a full inspection of ceiling joists from being undertaken.

There is low clearance in areas throughout the roof void which is preventing a full/thorough visual inspection taking place.

Roof Frame Type

The roof frame is a conventional timber frame.



Overall Condition

Defects exist to an area or component/s requiring rectification, Please read below for details.









Roof Framing Defects

#76. Exhaust fan ducting observed to not be connected.



Insulation

Type

The roof space is insulated with fibreglass batts.



Condition

The installation is acceptable



Sarking

No Sarking Installed

Air Conditioning**Overall Condition**

Split System A/C wall mounted units installed in accordance with plans and acceptable.

Appliances**Appliances Installed**

Electric cooktop installed.

A rangehood is installed.

A wall oven is installed.

Fixtures**Fixtures Installed**

A clothesline is installed.

A letterbox installed (No street number).



TERMS AND CONDITIONS

SCOPE OF REPORT

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

In relying upon this report you should read and understand the following important information in conjunction with our inspection agreement Terms and Conditions: surebuildinginspections.au/terms-conditions

The purpose of this report is to document the progress and/or completion of a particular phase/stage in a construction process. This report is not a report of compliance with any Construction Code or Australian standard, but a simple record of where the level of construction is. This report is not a certificate of compliance and is not a defect report. In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors.

This report does not override or contravene a report from any relevant authority.

DEFINITIONS AND TERMINOLOGY

Completed: The progress of a particular stage of construction has been completed in accordance with any documents provided.

Incomplete/Contrary to plans: The progress of a particular stage of construction has been not completed or is not in accordance with any documents provided.

In Progress: The progress of a particular stage of construction is still in progress and has yet to be completed.

Not Applicable: Not applicable according to the type of construction and/or documents provided.

Accessible Area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Limitation: A factor that prevents full or proper inspection of the building.

LIMITATIONS

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.0-2007. The purpose of the inspection is to provide advice the client regarding the condition of the property construction at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor inspect and test these services. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects.

Neither SURE Building Inspections or the Inspector will be held responsible for areas of specialised knowledge.

SAFE AND REASONABLE ACCESS

Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

NO GUARANTEE

Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

SURFACE WATER AND DRAINAGE

The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage efficiency is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection.

RETAINING WALLS

Garden retaining wall/s more than 700mm high and load bearing retaining wall/s should have been installed with engineering design and supervision. Only the visual areas of retaining wall/s found on the site were inspected. The future performance of these wall/s is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

DISCLAIMER OF LIABILITY

No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

No Liability shall be accepted on an account of failure of the Report to notify any compliance issues relating to this structure and report.

COMPLAINTS PROCEDURE

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

Contact the inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by: Kim Steele (SURE Pty Ltd)

Contact the Inspector on: 1300 787 327

For and on Behalf of: SURE Building Inspections

