

Plate Height Inspection

Provided By



SURE Building Inspections

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Inspection Address



Report Information

Client Information

Client Name

Email

Total Fee

Inspection Information

Report/Agreement #

Inspection Date:

Inspection Time:

Progress Inspection Report

Introduction

This is a progress construction report documenting the level of construction phase to this structure.

The Scope of the Inspection:

This report Complies with Australian Building Standards AS 4349.0-2007. Inspection of Buildings General Requirements.

Only the person named at the front page of the report "Client" should rely on this report. If this report has been issued to you by a third party. You are not to rely on its findings or contents and seek to obtain your own independent pre purchase inspection report as this report or its contents is non transferable.

If the property is part of a Strata or Company Title , then Appendix "B" of the Australian Standards applies.

Special Requirements:

Unless stated otherwise in the report It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Pre Inspection Agreement:

Unless stated otherwise in the report It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-Inspection Agreement and the scope of this inspection report.

We note that our observations are visual and are carried out to all readily accessible external and/or internal areas of the subject property as instructed by the Client. The inspection does not include areas obscured by fixtures, fittings, furniture, floor coverings, or wall finishes. All observations of the external façade are made from the ground only and do not include areas obscured by vegetation.

The purpose of this report is to document the progress and or completion of a particular area in a construction process. This report is not a report of compliance with any Construction Code or Australian standard, but a simple record of where the level of construction is. This report is not a certificate of compliance and is not a defect report. In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors.

This report does not override or contravene a report from any relevant authority.

This is a Visual Inspection only and in Accordance with AS4349.0

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sarking membrane, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions.

Scope of Report

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

Please read the entire report. Refer to the terms & conditions as they form part of the report

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Summary Of Major Defects And Safety Hazards

Below Is A Summary Of Significant Items Requiring Immediate Action.

Section	Location	Name	Comment
PLAN MEASUREMENTS	Measurements	Progress to plans if applicable	Incomplete and not in accordance with plan requirements: Garage opening measured at 4700mm which is approximately 100mm less than the given measurement of 4810mm as stated per plan. There is also a discrepancy to the plan measurement internal width of the garage. This also appears to be approximately 100mm less than stated per plan. Recommendation - Advise Builder



INSPECTION INFORMATION

General Inspection Information

Orientation

For the purpose of this report the facade with the front door is considered the North Elevation

Weather Conditions

The weather was dry at the time of inspection

General Description of Structure Inspected

Residential house

Roof Cladding

Proposed metal cladded roof.

Construction Type

Double brick

Footings Type

Concrete slab on-ground

Present At Inspection

Inspector only.

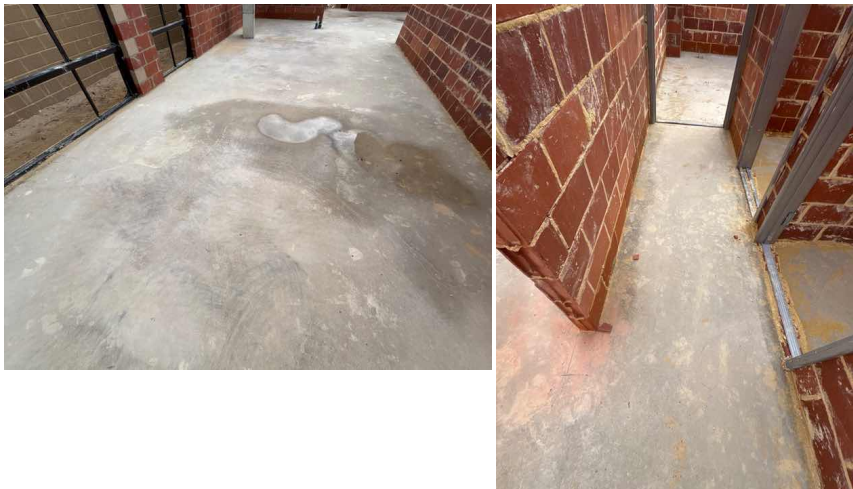
Roof Design

Proposed pitched roof.

No Defects**Progress to plans if applicable**

Complete in accordance with plans.

Vertical plumb and horizontal level within tolerances.





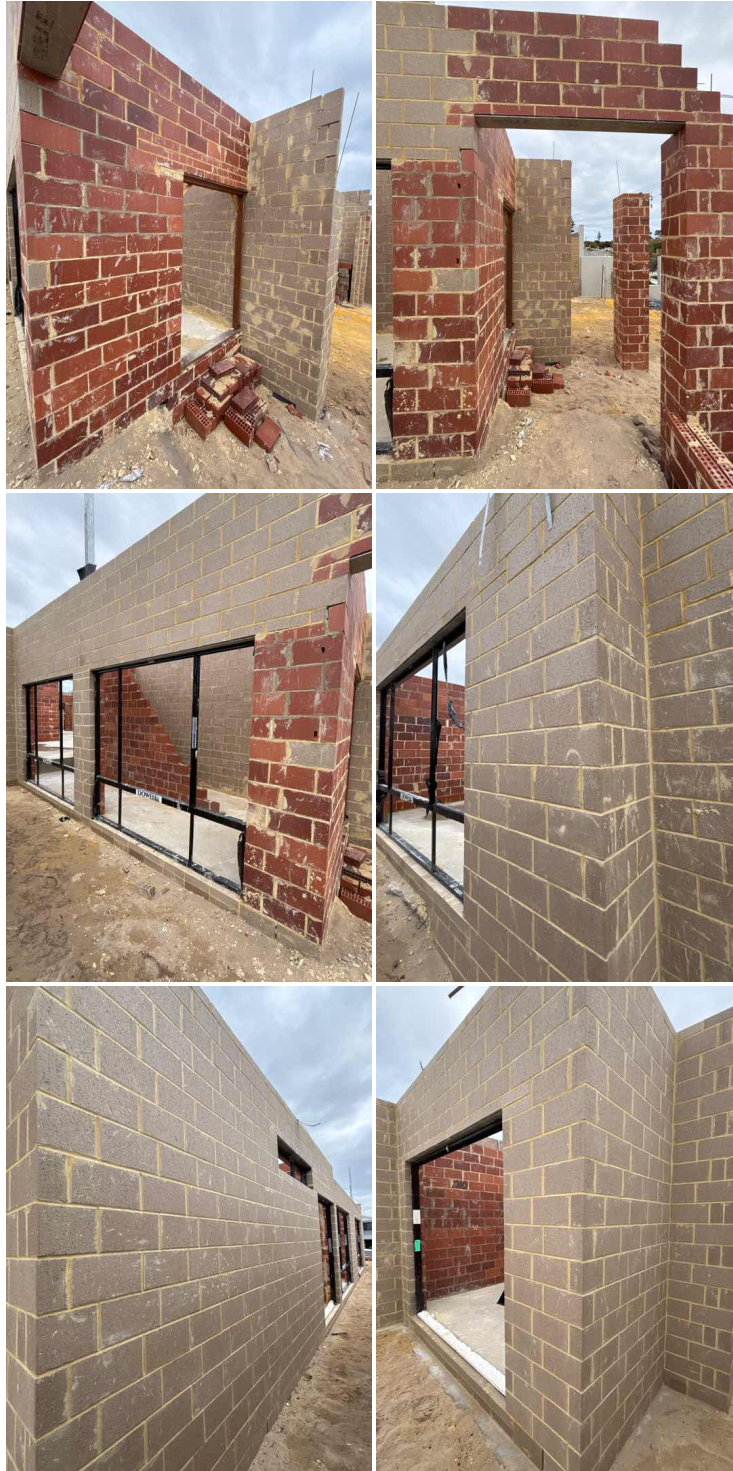
i EXTERNAL WALLS

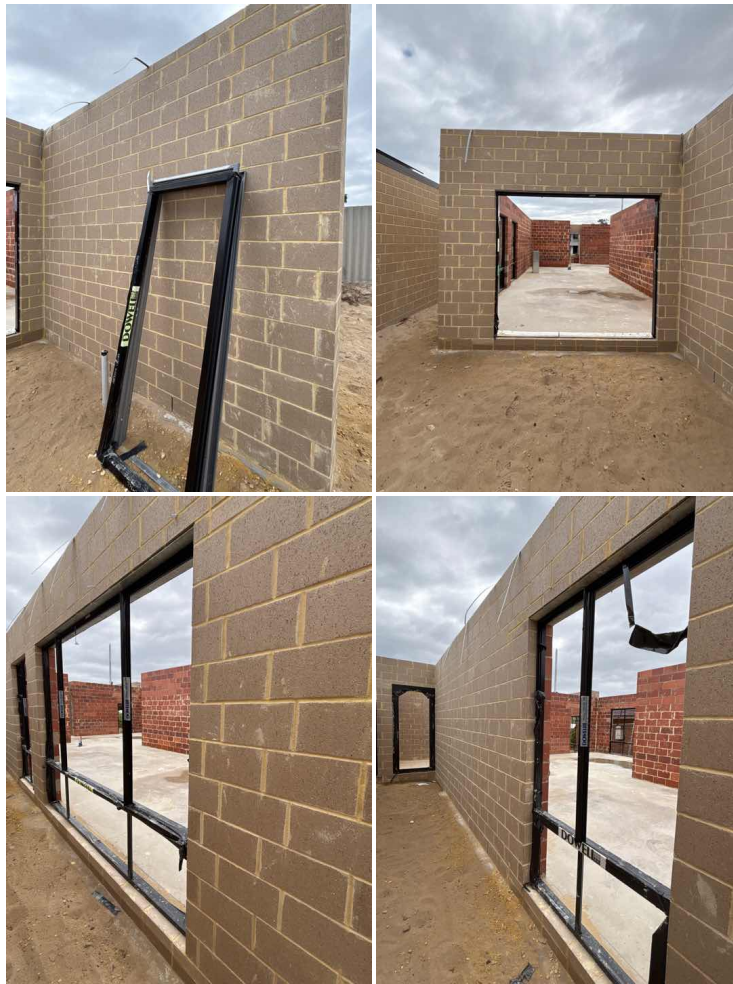
No Defects

Progress to plans if applicable

Complete in accordance with plans.

Vertical plumb and horizontal level within tolerances.





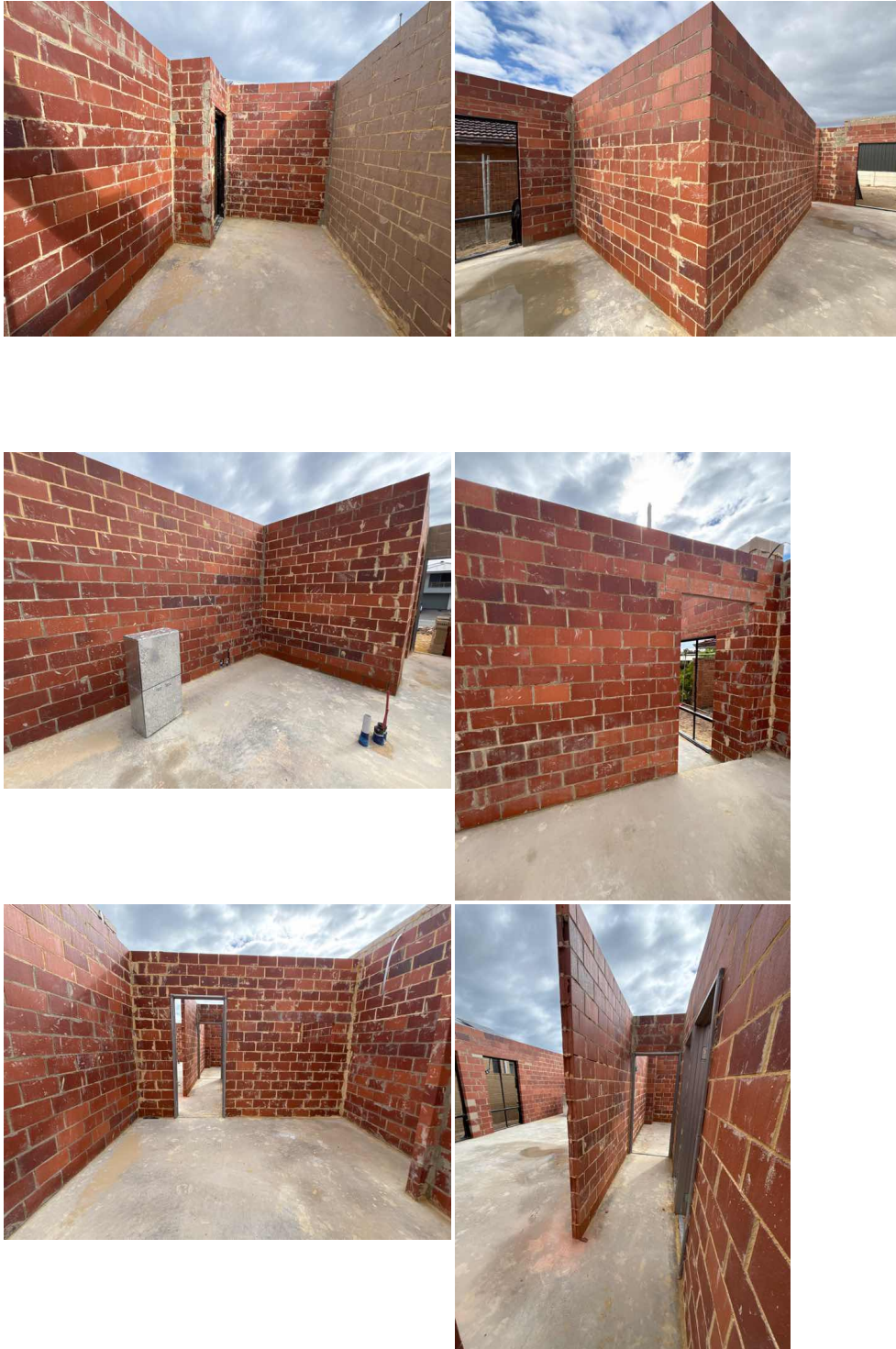
i INTERNAL WALLS

No Defects

Progress to plans if applicable

Complete in accordance with plans.

Vertical plumb and horizontal level within tolerances.





Observations**Progress to plans if applicable**

Complete in accordance with AS4773.2-2015.





GARAGE

Defects

Progress to plans if applicable

Incomplete and not in accordance with plan requirements.

Please see Plan Measurements section of the report for further details.





EXTERNAL DOOR FRAMES

Overall Condition

Progress to plans if applicable

External doorways are installed to an acceptable standard and within tolerance.



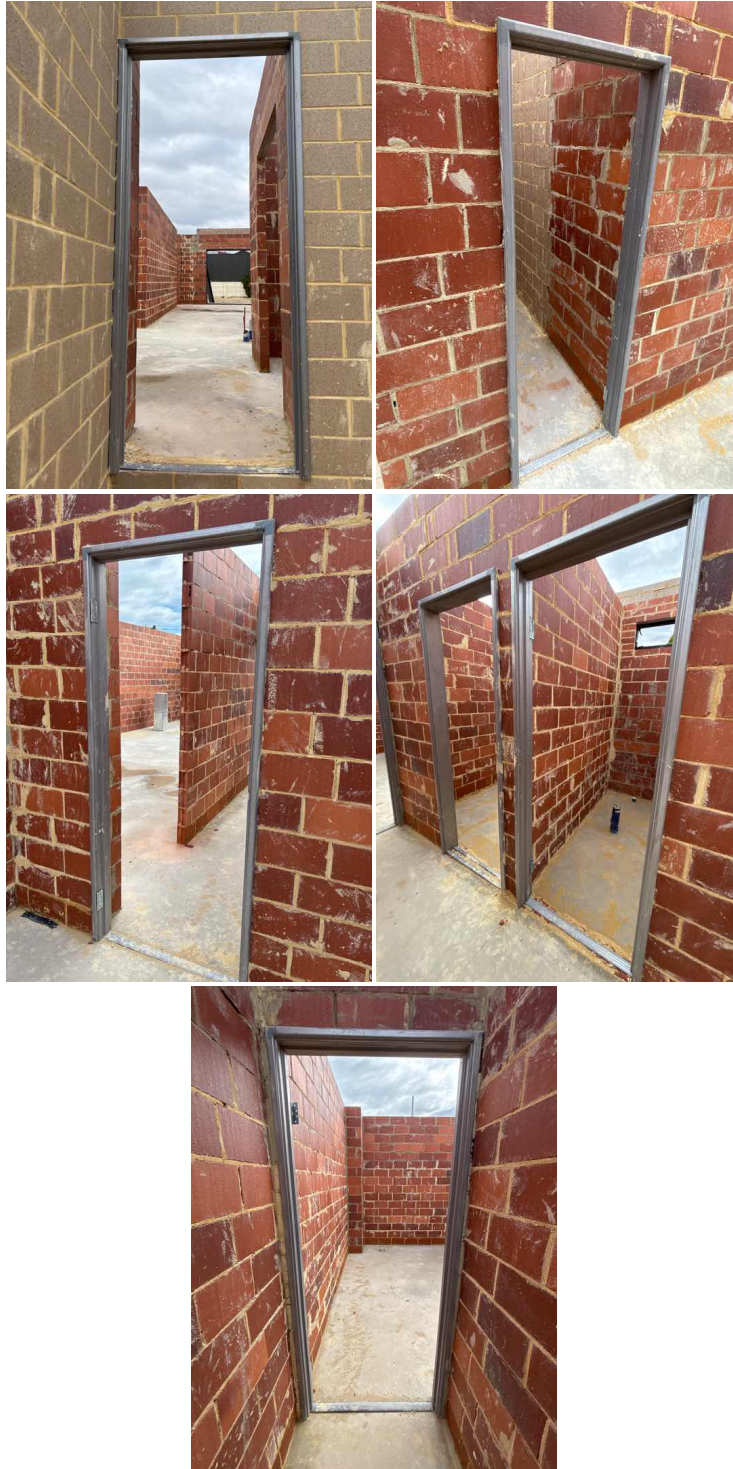


INTERNAL DOOR FRAMES

Overall Condition

Progress to plans if applicable

All internal door frames installed within acceptable tolerance and to a serviceable standard.





LINTELS & WINDOWS

Lintels

Progress to plans if applicable

Complete in accordance with AS4773.2-2015.





Window Frames / Window Openings

Progress to plans if applicable

Complete. Installed within tolerance and to an acceptable standard.





i PLAN MEASUREMENTS

Measurements

Progress to plans if applicable

External measurements within working tolerances and in accordance with plans.

Internal measurements within tolerance and in accordance with plans.

Incomplete and not in accordance with plan requirements:

Garage opening measured at 4700mm which is approximately 100mm less than the given measurement of 4810mm as stated per plan.

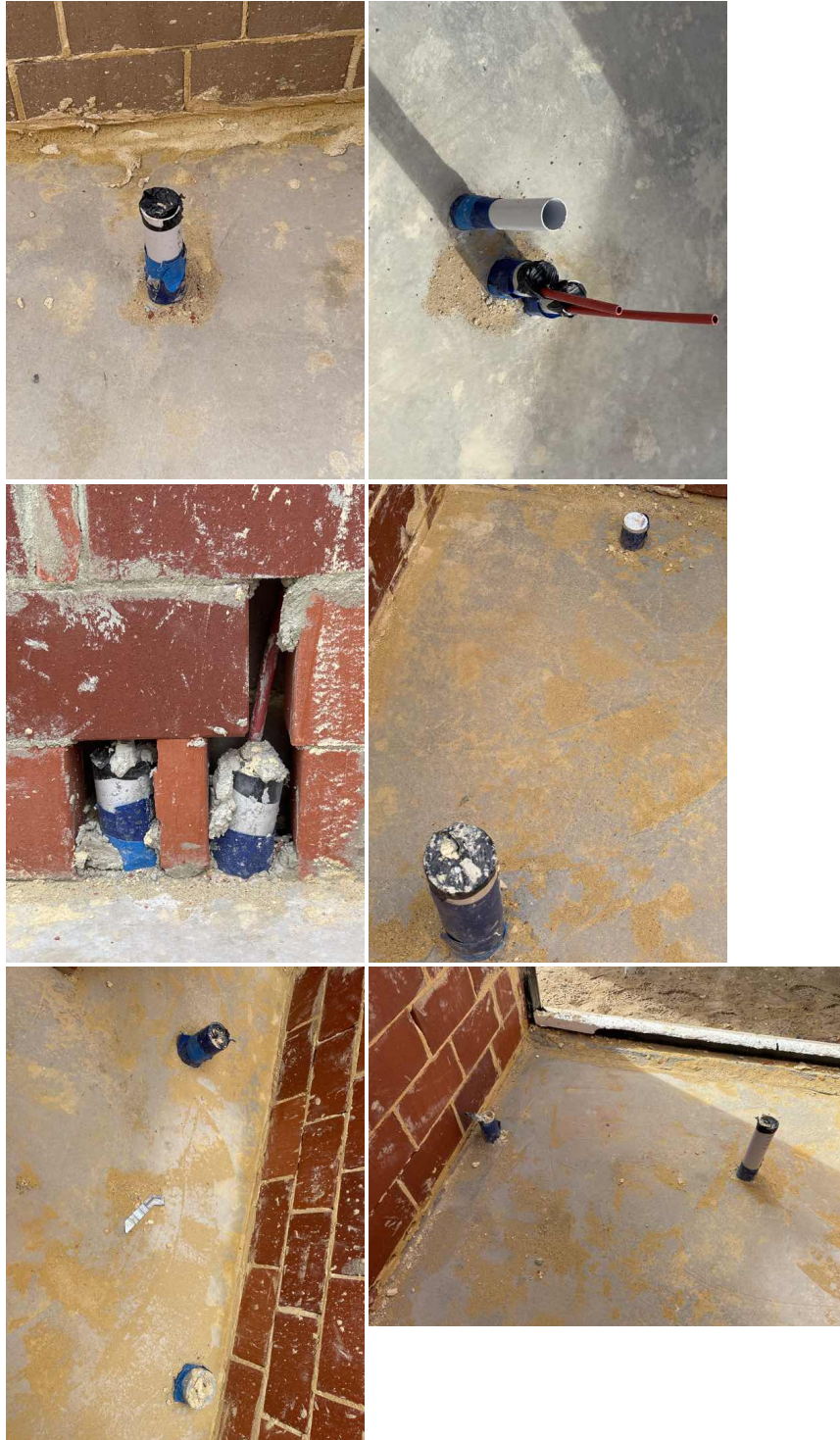
There is also a discrepancy to the plan measurement internal width of the garage. This also appears to be approximately 100mm less than stated per plan.

Recommendation - Advise Builder



i **PLUMBING/SERVICES****Plumbing Works****Progress to plans if applicable**

Complete in accordance with plan requirements.





*i***BRICK TIES****Serviceable****Progress to plans if applicable**

Brick ties installed in accordance with AS4773.2-2015.

i PERIMETER TIE DOWNS

Serviceable

Progress to plans if applicable

Installed.



The Inspection and Report was carried out by: Kim Steele (SURE Pty Ltd)

Contact the Inspector on: 1300 787 327

For and on Behalf of: SURE Building Inspections

