

High Rise Inspection

Provided By



SURE Building Inspections

P 1300 787 327
inspect@sure.net.au

Inspection Address



Report Information

Client Information

Client Name

Email

Total Fee

Inspection Information

Report/Agreement #

Inspection Date:

Inspection Time:

High Rise Apartment Inspection

The Scope of the Inspection: This High Rise Apartment Inspection report complies with Australian Building Standards AS 4349.1-2007 Inspection of Buildings: Pre- Purchase Inspections - Residential Buildings - Appendix "B". Further information pertaining to the scope of this report can be found on our website: surebuildinginspections.au

Only the client as detailed in "Client Information" should rely on this report. If this report has been issued to you by a third party, you are not to rely on its findings or content.

Where applicable, only defects to Structural Elements are categorised as Significant Items (Minor or Major).

Defects are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect.

Special Requirements: Unless stated otherwise in the report, it is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Inspection Agreement: This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your solicitor/conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property. The agreement can be reviewed here: surebuildinginspections.au/terms-conditions

Changes to the Inspection Agreement: Unless stated otherwise in the report, it is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-inspection agreement and the scope of this inspection report.

Please read the entire report. Refer to the terms & conditions as they form part of the report.

Areas to be Inspected and Restrictions

Inspection is limited to the interior and the immediate exterior of the particular residence to be inspected, as that is the extent of the individual property, and does not include review of body corporate or similar records.

A prospective purchaser should be aware that their liability for the cost of repairing building defects is not restricted to the particular unit which they are proposing to purchase, but may include contribution to the whole of the common property. Thus, an inspection of the particular unit and its immediate surrounds may be of limited assistance to the prospective purchaser as an indicator of the total extent of their overall liability to contribute to the cost of repairs.

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection did not include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Visible timbers cannot be destructively probed or hit without the written permission of the property owner.

Very Important Note to the Client

In the event that areas where access could not be gained e.g. locked areas or rooms where physical access could not be gained, structural defects, termite damage or activity may be present but not seen. Access should be provided and a follow up or re-inspection should be undertaken prior to a contract of sale becoming binding. Please consult with the vendor and request full access to restricted areas.

Utility Services

Utility services (water, gas, electricity) connected to the property on the date of inspection allow for testing of connected items (e.g. taps, lights, stove, etc). Disconnected utility services will prevent the inspector fully assessing affected items, whereby it is strongly recommended to request from the seller the reason for disconnection and to allow re-connection of the affected utility to allow for testing prior to purchase.

Defect Reference

Structural Major: A defect to a structural component of sufficient magnitude requiring building works to avoid unsafe conditions, collapse or failure within the near future.

Structural Minor: A defect to a structural component other than what is described as a Structural Major defect. Monitoring and ongoing maintenance work or repair is required in the future to prevent the condition from worsening.

Structural Indication: An obstructed condition normally caused by deterioration or failure to a structural component. Further investigation to surrounding areas or invasively is required to identify the cause of the indication. Not reported as Minor or Major.

Maintenance: A defect requiring non-structural repairs. Not reported as Minor or Major.

Health and Safety: A non-structural defect that presents unsafe conditions or has the potential to be unsafe. Not reported as Minor or Major.

Table of Contents

	1. PLUMBING		5. KITCHEN & LAUNDRY
	2. EXTERIOR		6. GARAGING
	3. INTERIORS		7. TERMITE GUIDANCE
	4. BATHROOM(S)		8. CONCLUSION
			9. PROPERTY AND INSPECTION INFORMATION

Summary Of Major Defects And Safety Hazards

Below Is a summary of significant Items requiring immediate action.

The # denotes to the defect number in the report

Section	Location	Name	Comment
CONCLUSION	Condition Of Inspected Structure	The incidence of Major Defects	There were no Major defects identified during the inspection.

Summary Of Minor Defects

Below is a summary of defects other than Major defects.

The # denotes to the defect number in the report

Section	Location	Name	Comment
EXTERIOR	External Walls	External Wall Observations	Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Engage a bricklayer to repair. For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.
INTERIORS	Store Room	Walls Observations	Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Recommendation: Engage a painter to patch and paint. For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.
INTERIORS	Bedroom	Walls Observations	Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Recommendation: Engage a painter to patch and paint. For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.

KITCHEN & LAUNDRY	Kitchen	Walls Observations	Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Engage a painter to patch and paint. For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.
CONCLUSION	Condition Of Inspected Structure	The Incidence of Minor Defects	The incidence of Minor defects in this residential building as compared with similar buildings is considered LOW

Hot Water Unit**Hot Water Unit Observations**

The hot water system appears to be in a serviceable condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise. The hot water unit should be periodically inspected for leaks and deterioration.

**System Location**

The hot water unit is located inside.

System Type

The hot water unit is an electric storage system.

System Make

The make of the hot water unit is rheem.

System Capacity

Hot water unit system capacity is 80 litres.

System Year of Manufacture

2008

Traditional storage tank water heaters have a life span of **around 10 years**. Tankless hot water systems such as instantaneous hot water systems can last up to 20 years.



EXTERIOR

External Doors

Overall Condition

On visual inspection, the general condition of the external doors is serviceable for the age of the building.

External Walls

General Disclaimer

Refer to Section 2D of the Terms And Conditions section of this report.

Exterior Wall Material

The wall material is brick.

The wall material is rendered masonry.

Overall Condition

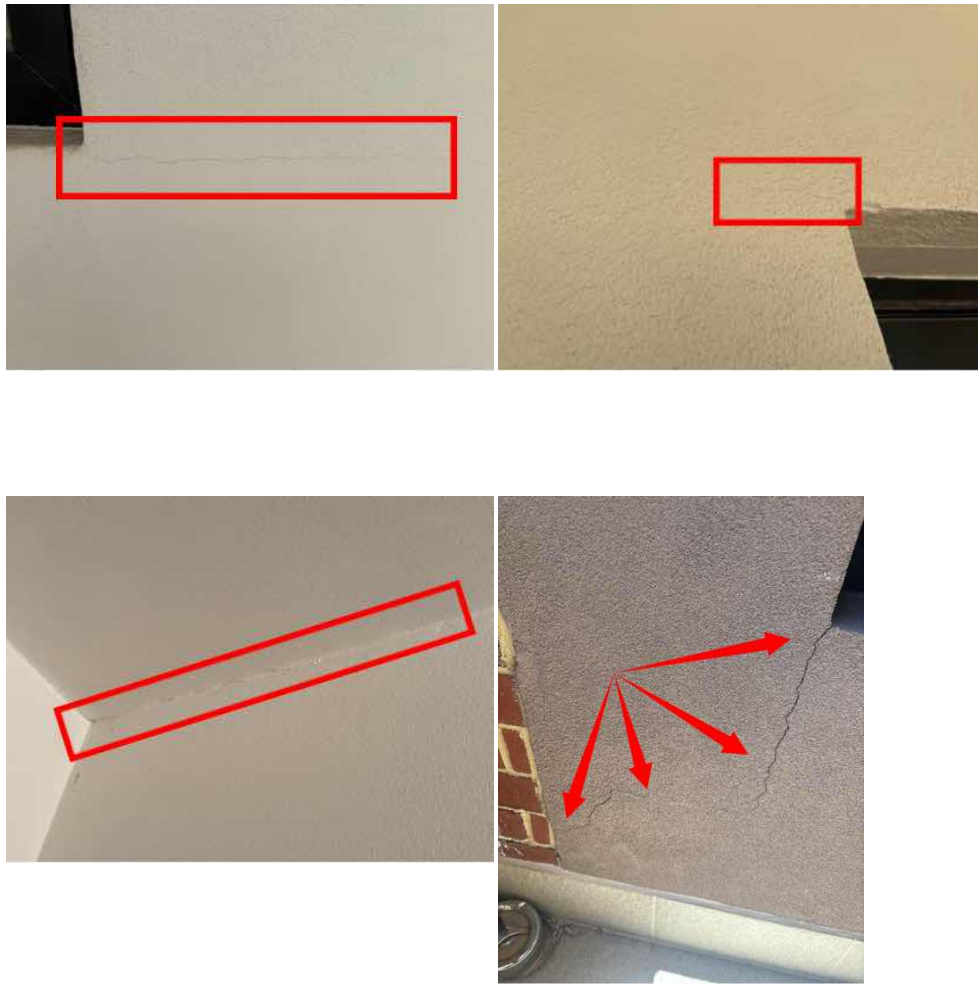
On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



External Wall Observations

Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Engage a bricklayer to repair.

For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.



External Windows

General Disclaimer

Please refer to section 2D of the Terms And Conditions Section of this report

Overall Condition

On visual inspection, the general condition of the external windows is serviceable for the age of the building.

Balcony

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Ceiling Lining Observations

Maintenance: Ceiling Lining join crack observed. Engage a painter for repairs.





INTERIORS

Doors

General Disclaimer

Please refer to section 2F of the Terms And Condition section of this report

Front Entry Door Observations

Maintenance: Binding when opened and closed. Recommendation: Engage a carpenter to repair.

Maintenance: Door handle/hardware is loose. Recommendation: Engage a handyman to repair.



Smoke Alarm

Was a Smoke Alarm Fitted

Yes a smoke alarm was sighted but not tested.

Testing of smoke alarms is NOT within the scope of this inspection and requires a licenced electrician to test. Australian standard AS3786 advises that smoke alarms are required for all buildings where people sleep. Smoke alarms are typically require tested and certification at the sellers cost by a licenced electrician BEFORE settlement. It is recommended to check with your conveyancer/settlement agent for contract requirements to ensure the property meets state regulations.

Air-Conditioning

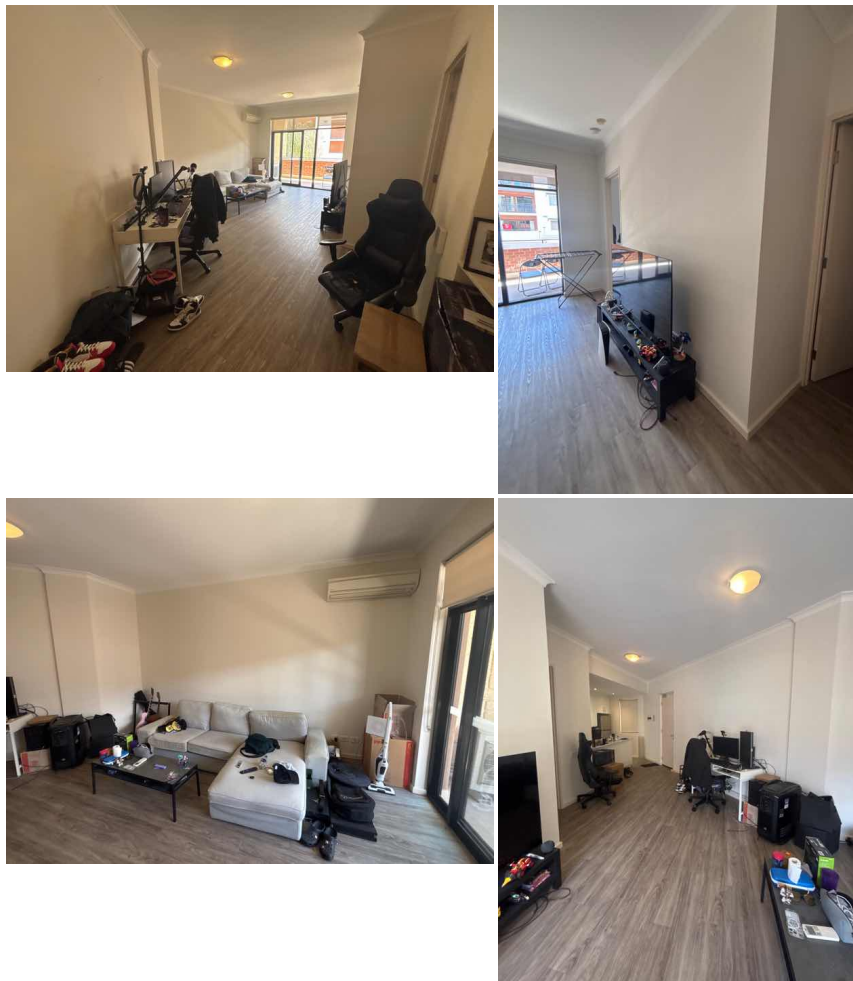
Split System Air-Conditioning Observations

The air-conditioning unit was tested and operated as expected for the estimated age of the unit. A technician should be engaged for annual servicing.

Combined Living and Meals Room

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Ceiling Observations

Maintenance: Typical marks/scuffs observed to areas of ceiling linings.

Recommendation - Engage a painter for repairs.



Walls Observations

Maintenance: General scuffs and marks to walls. Recommendation: Engage a painter for repairs.



Store Room

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Walls Observations

Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Recommendation: Engage a painter to patch and paint.

For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.



Bedroom

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Ceiling Observations

Maintenance: Ceiling/cornice join crack/s observed. Recommendation: Engage a painter for repairs.

Maintenance: Typical marks/scuffs observed to areas of ceiling linings.

Recommendation - Engage a painter for repairs.



Walls Observations

Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Recommendation: Engage a painter to patch and paint.

For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.

Maintenance: General scuffs and marks to walls. Recommendation: Engage a painter for repairs.





BATHROOM(S)

Bathroom

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Door Observations

Maintenance: Paint deterioration observed. Recommendation: Engage a painter to repair.



Ceiling Observations

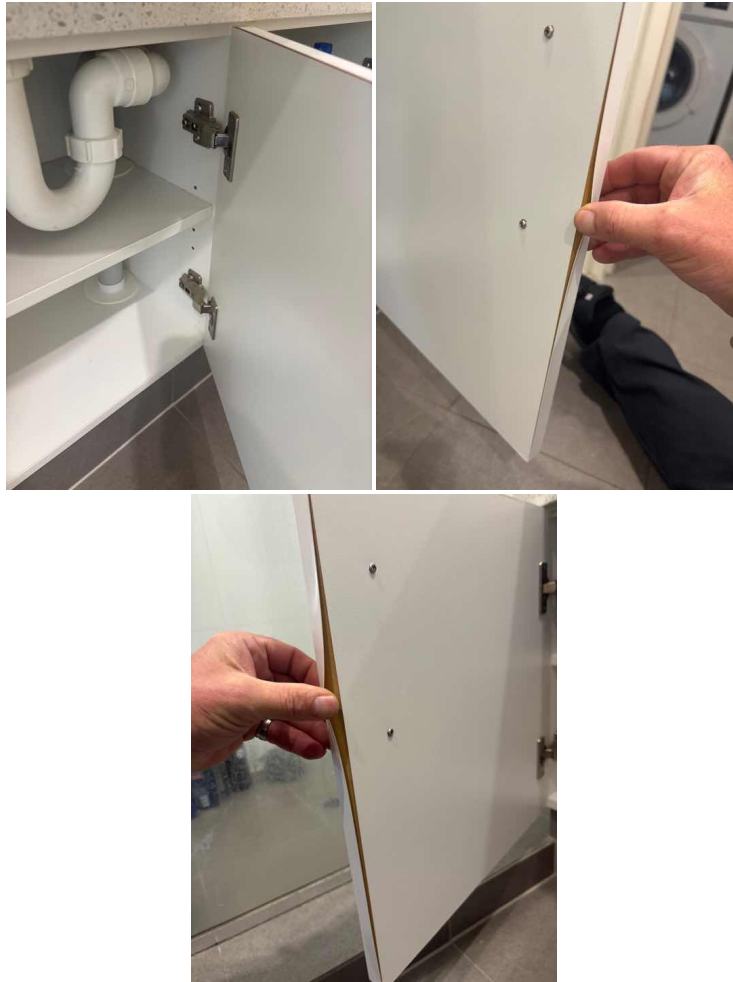
Maintenance: Typical marks/scuffs observed to areas of ceiling linings.

Recommendation - Engage a painter for repairs.

Vanity Observations

Maintenance: Hinges and/or drawer rollers require maintenance and adjustment. Recommendation: Engage a handyman or cabinet maker for repairs.

Maintenance: Typical wear observed to cabinetry components. Serviceable condition.



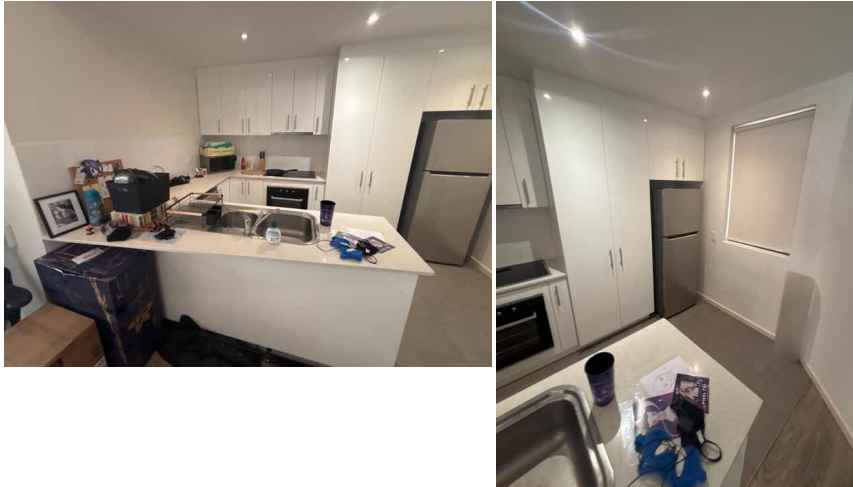


KITCHEN & LAUNDRY

Kitchen

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Ceiling Observations

Maintenance: Ceiling/cornice join crack/s observed. Recommendation: Engage a painter for repairs.





Walls Observations

Structural Minor: There appears to have been some settlement in the building which has caused some cracking to the walls. These crack/s are categorised as 0 to 2. This can also cause some doors to bind or be out of square. In the inspectors opinion these cracks are due to settlement, usually due to ground movement and subsequent movement to building materials can be expected. All cracks should be monitored and if cracks increase in size, further investigation should be carried out by a structural engineer. Engage a painter to patch and paint.

For clarification on the category of cracks with a damage category of 0 to 2, please refer to Cracking of Building Elements in Section 2D of the Terms and Conditions of this report.

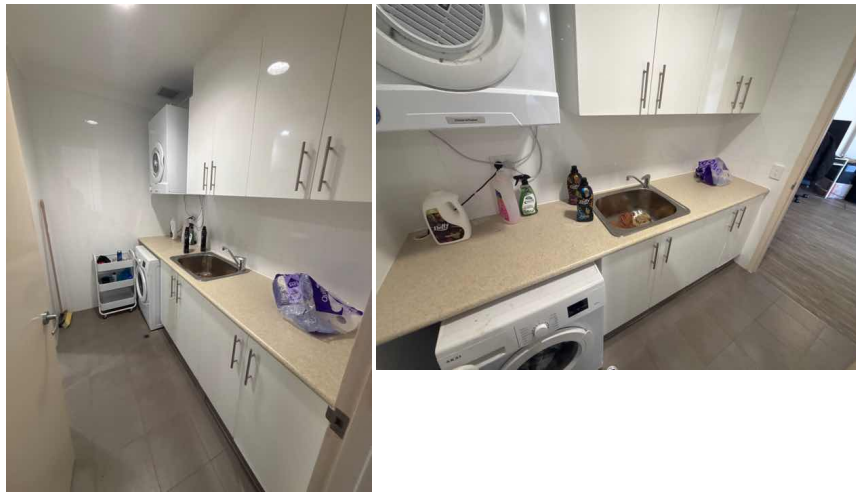
Maintenance: General scuffs and marks to walls. Recommendation: Engage a painter for repairs.



Laundry

Overall Condition

On inspection, defects were present which will require further assessing and recommendations by a qualified trades person, please read below for details.



Ceiling Observations

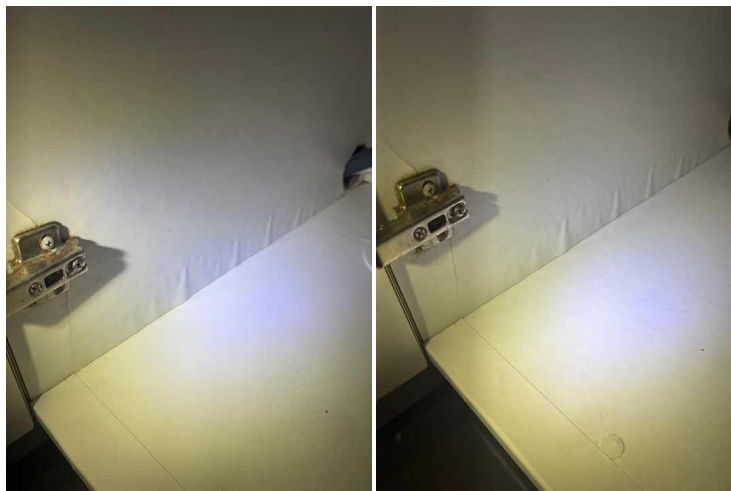
Maintenance: Typical marks/scuffs observed to areas of ceiling linings.

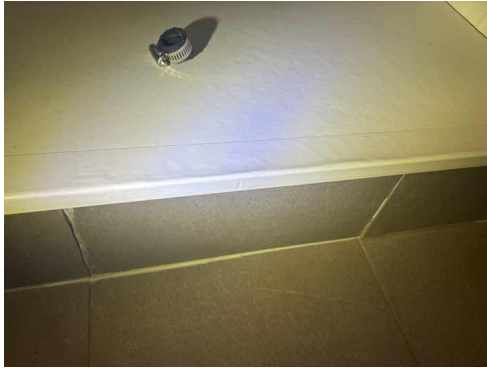
Recommendation - Engage a painter for repairs.



Cabinet Observations

Maintenance: Typical wear observed to cabinetry components. Serviceable condition.





GARAGING

Car Space - Common Garage

Overall Condition

On visual inspection, the general condition of the garage is serviceable for the age of the building.



i TERMITE GUIDANCE

Overall Assessment of Property

Please Note

Strata Management is normally responsible for termite management activities at an apartment site. It is strongly recommended that Strata Management be contacted to review maintenance planning and historical treatments.

Termite inspection is not within the scope of inspection for this property type due to restricted access to strata common areas and strata services areas. A Timber Pest Inspection is available independently or as part of our Strata Site Maintenance inspection.

Susceptibility of Location to Termite Infestation

The overall degree of risk for termite infestation at the location of this property appears to be MODERATE.

Degree of Property Risk of Termite Infestation

In our opinion, the susceptibility of this property to termite infestation is considered to be LOW.

The overall degree of risk of termite infestation to a property is a subjective assessment by the inspector at the time of the inspection taking into account many factors which include but are in no way limited to the construction type, building materials installed, proximity of building elements to the ground, contact of building elements with the ground, proximity of timbers with the ground, contact of building timbers with the ground, the use on untreated pine, renovations, timber decking, timber pergola, installations bypassing a barrier system, conduit connections, trees and vegetation against the building. It should be noted that even if a risk factor is high, this is not meant to deter a purchaser from purchasing the property, it is just to make them aware that increased vigilance is warranted and any recommendations regarding reducing conducive conditions, treatment or frequency of inspections should be implemented by any owner of the property. Often, by implementing recommendations the overall risk factor may be lowered.

Subterranean Termite Treatment Recommendation

Treatment Recommendation

Contact Strata to obtain details of any management program in place in accordance with AS 3660 to protect against subterranean termites. Where no management program is in place the recommendation for a management plan in accordance with AS 3660 is considered to be: **STRONGLY RECOMMENDED**.



CONCLUSION

Condition Of Inspected Structure

Overall Condition

The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The defect summary, where applicable only lists defects to Structural Elements found on the site.

Defects are the opinion of the inspector, other inspectors or individuals may have a different opinion to what is a Minor or a Major Defect.

The incidence of Major and Minor defects and overall condition in this residential building as compared with similar buildings is listed below.

Please refer to the **TERMS AND CONDITIONS** section of this report for definition.

The incidence of Major Defects

There were no Major defects identified during the inspection.

The Incidence of Minor Defects

The incidence of Minor defects in this residential building as compared with similar buildings is considered **LOW**

The Overall Condition Of This Dwelling

The overall condition of this residential dwelling in the context of its age, type and general expectations of similar properties is **ABOVE AVERAGE**





PROPERTY AND INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was fine and dry at the time of the inspection.



TERMS AND CONDITIONS

In relying upon this report you should read and understand the following important information in conjunction with our inspection agreement Terms and Conditions: surebuildinginspections.au/terms-conditions

DEFINITIONS AND TERMINOLOGY

NO DEFECTS: The building material or component is in reasonable or serviceable condition for the age of the dwelling.

TRADESMAN: A defect or a number of defects were visible that will require assessment by a qualified trades person.

AGE: The component has deterioration due to ageing or lack of upkeep and or maintenance.

MONITOR: Some defects may require monitoring to ascertain if the defect will worsen, reappear or cause further problems.

STRATA: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected report.

HIGH: The frequency and/or magnitude of defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

TYPICAL: The frequency and/or magnitude of defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age which have been reasonably well maintained.

LOW: The frequency and/or magnitude of defects are lower than the inspector's expectations when compared to similar buildings of approximately the same age that have been reasonably well maintained.

ABOVE AVERAGE: The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a reasonable standard of workmanship when compared with buildings of similar age and construction.

AVERAGE: The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

BELOW AVERAGE: The building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building.

SIGNIFICANT ITEMS: A Structural Defect identified as Minor or Major in accordance with the scope of the inspection.

STRUCTURAL DEFECT: Fault or deviation from the intended structural performance of a Structural Element.

STRUCTURAL ELEMENT: Physically distinguishable part of a structure bearing/supporting a structural load. For example: wall, columns, beam, rafters.

STRUCTURAL MAJOR: A defect to a structural component of sufficient magnitude requiring building works to avoid unsafe conditions, collapse or failure within the near future.

STRUCTURAL MINOR: A defect to a structural component other than what is described as a significant item or major defect. Monitoring and ongoing maintenance work or repair is required in the future to prevent the condition from worsening.

STRUCTURAL INDICATION: An obstructed condition normally caused by deterioration or failure to a structural component. Further investigation to surrounding areas or invasively is required to identify the cause of the indication. Not reported as Minor or Major.

MAINTENANCE: A defect requiring non-structural repairs. Not reported as Minor or Major.

HEALTH AND SAFETY: A non-structural defect that presents unsafe conditions or has the potential to be unsafe.

ACCESSIBLE AREA: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

LIMITATION: A factor that prevents full or proper inspection of the building.

IMPORTANT INFORMATION

Important information regarding the scope and limitations of the inspection and this report. Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the scope and limitations of the inspection, form an integral part of the report. The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time and date of the visual inspection. An estimate of the cost of rectification of defects is outside the scope of Australian Standard AS 4349 and does not form part of this report. If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of that particular residential dwelling. The inspection does not cover common property. This report and any other attached report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential. Further, this report has been prepared for the person named in the CLIENT INFORMATION section of the report and it is assumed that only this person will rely on this report. Where a report is ordered on behalf of a CLIENT it is assumed that the terms and condition and Pre Inspection Agreement have been fully explained to the CLIENT by the person or company ordering the report.

We strongly advise that any cracking reported in this report should be referred to a structural engineer for further assessment and advice. Please refer to Cracking Of Building Elements in section 2G of these Terms and Conditions.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Limitations: This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. The purpose of the inspection is to provide advice the client regarding the condition of the property at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor inspect and test these services. As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access: Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.1 or AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

1) NOT A CERTIFICATE OF COMPLIANCE: This report is not an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not, a defect is considered significant or not depends too a large extent, upon the age and type of the building inspected. This report is not a certificate of compliance with the requirements of any act, regulation, ordinance or by-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) VISUAL INSPECTION: This is a visual inspection only limited to those areas and sections of the property safe that are fully accessible safe to access and visible to the inspector on the date of inspection.

2A) Please refer to each individual area regarding sections that were incapable or being inspected. Please acknowledge the following. Where a complete inspection of some areas listed through the report may not have been physically possible (due to but not limited to storage, furniture, beds, personal belongings in cupboards and/or wardrobes, the second storey roofing, gutters, fascia, flashings and the like, low clearance in subfloor or roof void areas, ducts and deep insulation restricting access in roof voids, subfloor restrictions including plumbing, ducts, low clearance, no access doors or access doors too small and the like) then it follows that defects, timber pest activity and/or damage may exist in these areas. To adequately inspect these restricted areas, ducts and floor boards may need to be removed, furniture moved, cupboards and wardrobes emptied which will be difficult to carry out. This will obviously be difficult to carry out due to time restrictions and permission would need to be obtained from the property owner.

We DO NOT GUARANTEE IN ANY WAY that there ARE OR ARE NOT any defects, termite damage or live termites in any areas not inspected. To obtain a full understanding of the report findings, it is essential you read the entire inspection report, including the information sections at the end of this report and we encourage you to call your inspector if you have any queries at all before purchasing.

2B) Entering attics or roof voids that are insulated can cause damage to the insulation and attic framing. Attics with deep insulation cannot be safely inspected due to limited visibility of the framing members upon which the inspector must walk. In such cases, the attic is only partially accessed, thereby limiting the review of the attic area from the hatch area only. Inspectors will not crawl the attic area when they believe it is a danger to them or that they might damage the attic insulation or framing. There is a limited review of the attic area viewed from the hatch only in these circumstances.

2C) The roof covering will not be walked upon if in the opinion of the inspector it is not safe to do so. Generally issues that prevent roof access include, access height over 3 metres, steep pitch, wet/slippery surfaces, deteriorated covering. Not being able to walk a roof significantly limits our inspection, which can result in hidden defects going undetected. The overall condition of the roofing and its components is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely watertight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. We offer no guarantee that the roof cladding or roof components such as flashing will not leak in the future.

2D) Limitations to the exterior inspection this is a visual inspection limited in scope by (but not restricted to) the following conditions: A representative sample of exterior components was inspected rather than every occurrence of components. The inspection does not include an assessment of geological, geotechnical, or hydrological conditions, or environmental hazards. Screening, shutters, awnings, or similar seasonal accessories, fences, recreational facilities, outbuildings, seawalls, break-walls, docks, erosion control and earth stabilization measures are not inspected unless specifically agreed-upon and documented in this report. Please note. If any wall cracking/cracks/openings are found at this dwelling, we cannot offer any guarantee that any visible wall cracks will not widen or lengthen over time or in the future as this is impossible to predict. We strongly recommend you contact a practicing structural engineer for further advice.

2E) Timber framed doors and windows can bind or stick. This can be seasonal due to the fluctuation in moisture content in timber. If binding or sticking continues a carpenter may require adjustments. Binding windows is not normally a major defect, however in some circumstances binding windows and doors can be directly related to some differential footings settlement. If any timber fungal decay on frames or deteriorated putty seals is noted, the consultant will not attempt to operate windows due to potential damage. Windows that are sticking, binding or paint stuck will also not be forced open. Water leaks to windows and surrounds cannot be determined in the absence of rain.

2F) Internal Inspections. Carpets and or other floor coverings, cupboards/cabinets, joinery, finishes and fittings, normally obstruct inspection to the upper-side of flooring. Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained. The condition of walls behind wall coverings, panelling and furnishings cannot be inspected or reported on. Only the general condition of visible areas is included in this inspection. Where fitted. Wood burning and other forms of fireboxes are outside the scope of this inspection and should be tested prior to purchase.

2G) Cracking of Building Elements: Regardless of the type of crack(s) the inspector carrying out a visual inspection is unable to determine the expected consequences of the cracks. As a crack on the day can be 1mm wide but may have the potential to develop over time into structural problems for the home owner resulting in major expensive rectification work.

Information required to determine the consequences of a crack:

- a) Nature of the foundation material on which the building is resting
- b) The design of the footings
- c) The site landscape and topography
- d) The history of the cracks

All these factors fall outside the scope of this inspection. However the information obtained from the items above are valuable in determining the expected consequences of the cracking and any remedial work.

Cracking Categories:

Cracking is also categorised into the following 5 categories with a description of typical damage and required repairs:

0-Hairline cracking, less than 0.1mm,

1-Fine cracks that do not need repair, less than 1.0mm,

2-Noticeable cracks, yet easily filled 1mm - 5.0mm,

3-Cracks that can be repaired and possibly some of the wall sections will need to be replaced. Weather tightness can be impaired, 5.0mm -15.0mm,

4-Extensive repair works required involving breaking out and replacing these sections. Walls can become out of plumb and fall and causes reduced bearing capacity, 15.0mm - 25.0mm.

IMPORTANT: Regardless of location or size, if cracks have been identified then a structural engineer is required to determine the significance of the cracking prior to a decision to purchase.

2H) Important Note: Where any elevated structure (deck, balcony, veranda etc.) is present, and this elevated structure is designed to accommodate people, you must have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. A qualified engineer can only do this. For the purpose of this report, the structure includes elevated decks; verandas, pergolas, balconies, handrails and stairs. Where any structural component is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

3) CONCEALED DEFECTS: This report does not and cannot make comment upon: Defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection including the detection of defects caused by these services (e.g. shower enclosures and bath tubs, the absence of any leaks or dampness at the time of the inspection does not necessarily mean that the enclosure will not leak after use) the presence or absence of timber pests; gas fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas; detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the inspector.

4) NO GUARANTEE: Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

5) SWIMMING POOLS: Swimming pools/spas are not part of the standard building report under AS4349.1-2007 and are not covered by this report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in findings or non-compliance under the legislation.

6) SURFACE WATER AND DRAINAGE: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection. It is recommended that a smoke test or drain borescope inspection be obtained to determine any illegal connections, blocked or broken drains.

7) SHOWER AND BATH: All Shower and bath areas are visually checked for leakage, but leaks often do not show except when the shower is in actual long-term use. Determining whether shower and bath surrounds are watertight is beyond the scope of this inspection. It is very important to maintain adequate sealing in the shower and bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future. Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on the shower recesses are limited to running water within the recesses and visually checking for leaks as showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. The absence of a leak during inspection does not mean that the shower or bath will not leak in the future or after prolonged use.

8) GLASS CAUTION: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in traffic-able areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

9) STAIRS AND BALUSTRADES: Specifications have been laid down by the National Construction Code Section 3.9 covering stairs, landings, balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

10) RETAINING WALLS: Garden retaining wall/s more than 700mm high and load bearing retaining wall/s should have been installed with engineering design and supervision. Only the visual areas of retaining wall/s found on the site were inspected. The future performance of these wall/s is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

11) ROOMS BELOW GROUND LEVEL: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser must make enquiries with the Council to ascertain if approval was given.

12) ASBESTOS DISCLAIMER: No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.

13) MOULD (mildew and non-wood decay fungi) DISCLAIMER: Mildew and non-wood decay fungi is commonly known as mould. However, mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. No inspection for mould was carried out at the property and no report on the presence or absence of mould is provided.

14) MAGNESITE DISCLAIMER: No inspection for Magnesite flooring was carried out at the property and no report on the presence or absence of magnesite flooring is provided. You should ask the owner whether magnesite flooring is present and/or seek advice from a structural engineer.

15) ESTIMATING DISCLAIMER: No estimate is provided in this report. We strongly recommend you obtain quotes for repairs from a suitable tradesman prior to a decision to purchase.

16) DISCLAIMER OF LIABILITY: No liability shall be accepted on an account of failure of the report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for inspection is denied by or to the inspector (including but not limited to or any area(s) or section(s) so specified by the report). Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Compensation is limited to the price of the report initially paid by the claimant named in the report as the "CLIENT".

17) DISCLAIMER OF LIABILITY TO THIRD PARTIES: Compensation will only be payable for losses arising in contract or tort sustained by the client named on the front of this report. Any third party acting or relying on this Report, in whole or in part, does so entirely at his or her own risk.

18) COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

OTHER RECOMMENDED INSPECTIONS

RCDs: Inspection and testing of RCDs is NOT within the scope of this inspection and requires a licenced electrician to test. RCDs are typically require tested and certification at the sellers cost by a licenced electrician BEFORE settlement. It is recommended to check with your conveyancer/settlement agent for contract requirements to ensure the property meets state regulations.

Smoke Alarm: Testing of smoke alarms is NOT within the scope of this inspection and requires a licenced electrician to test. Australian standard AS3786 advises that smoke alarms are required for all buildings where people sleep. Smoke alarms are typically require tested and certification at the sellers cost by a licenced electrician BEFORE settlement. It is recommended to check with your conveyancer/settlement agent for contract requirements to ensure the property meets state regulations.

Contact the inspector: Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by: Kim Steele (K.Steele & Sons Pty Ltd)

Contact the Inspector on: 0411 323 825

For and on Behalf of: SURE Building Inspections