

Handover Inspection

Provided By



SURE Building Inspections

P 1300 787 327
inspect@sure.net.au

Inspection Address



Report Information

Client Information

Client Name

Email

Total Fee

Inspection Information

Report/Agreement #

Inspection Date:

Inspection Time:

Practical Completion Inspection

Introduction

This is a Practical Completion stage construction report. The purpose of this report is to document the progress and/or completion of a particular area in a construction process. This report is a record of construction as of the inspection date.

The Scope of the Inspection

This report complies with Australian Building Standards AS 4349.0-2007: Inspection of Buildings General Requirements.

Only the client as detailed in "Client Information" should rely on this report. If this report has been issued to you by a third party, you are not to rely on its findings or content.

In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors, this inspection report does not waive any of these requirements and cannot be used for this purpose.

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

Further information pertaining to the scope of this report can be found on our website: surebuildinginspections.au

Special Requirements

Unless stated otherwise in the report it is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Pre Inspection Agreement

Unless stated otherwise in the report, it is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of the pre-inspection agreement and the scope of this inspection report. The agreement can be reviewed here: surebuildinginspections.au/terms-conditions

Areas to be Inspected and Restrictions

The building and the site including fencing that is up to 30 meters from the building and within the boundaries of the site. Where present and accessible, the inspection shall include:

- (a) The interior of the building
- (b) The roof space
- (c) The exterior of the building
- (d) The sub-floor space
- (e) The roof exterior
- (f) The property within 30 m of the building subject to inspection

Visual Inspection Only

This is a visual inspection only limited to those areas and sections of the property fully accessible and visible to the inspector on the date of inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector cannot see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector did not dig, gouge, force or perform any other invasive procedures. Items cannot be destructively probed or hit without the written permission of the property owner.

Very Important Note to the Client

In the event that areas where access could not be gained e.g. locked areas or rooms where physical access could not be gained, defects or damage may be present but not seen. Access should be provided and a follow up or re-inspection should be undertaken.

Utility Services

Utility services (water, gas, electricity) connected to the property on the date of inspection allow for testing of connected items (e.g. taps, lights, stove, etc). Disconnected utility services will prevent the inspector fully assessing affected items, whereby it is strongly recommended to connect the affected utility to allow for testing.

Warranties and Defects

The builder should generally provide the following to the owner or owner's agent at the handover stage:

- Final certification/occupation Certificate from certifier/council
- Gas/Plumbing compliance certificate/s
- Electrical/smoke alarms compliance certificate/s
- Practical completion certificate which includes a defects document with reference to the defects liability and warranty period including expiry date
- Home warranty insurance certificate
- Certification and relevant information regarding termite management system
- User Manuals for all appliances and installations
- Remote controls for garage
- Keys to the property

Defect Rectification

The Builder prior to handover or settlement, or as agreed by the owner and builder should rectify any outstanding items/defects.

If you are required to sign a Practical Completion Certificate, or an authority to release the final payment you should ensure that any outstanding items/defects are documented 'to be rectified by the builder' on a defects document, which should be signed and dated by the builder and the owner, or owners agent.

Note: If there are any items that the builder does not agree with, these should also be noted on the defects document. The practical completion document should mention the provision of a statutory defects period.

The defects liability period generally commences from the date the practical completion certificate is signed. You should confirm the period and expiry date with the builder.

There should be provision in your contract for a final inspection by the owner prior to settlement. A final inspection ensures any defects and/or incomplete work have been satisfactorily completed, and any minor defects and/or incomplete work that may still exist at handover/settlement are noted, prior to final payment. You should check your building contract in relation to any practical completion/handover requirements.

Defect Liability Period

As a general rule the building is covered for structural and other defects for a specific period, we recommend you refer to your building contract to confirm the warranty period and check with your builder regarding the provision of any warranties that may be applicable.

We strongly recommend you contact us to conduct a Warranty Defect Inspection before the warranty period expires.

Warranties under building law

Builders and tradespeople must honour the implied warranties in the Domestic Building Contracts Act, which require that they:

- Carry out the work in a proper and workmanlike manner, in accordance with the plans and specifications set out in the contract
- Ensure all materials supplied are good and suitable for the purpose and are new, unless otherwise stated in the contract
- Carry out the work in accordance with all laws and legal requirements
- Carry out the work with reasonable care and skill and complete works by the date (or within the period) specified by the contract
- Ensure new homes, extensions, renovations, repairs and kit homes (or similar) are suitable for occupation when completed
- Ensure other types of work and the material used are reasonably fit for the intended purpose

Additional Note

We strongly recommend you arrange insurance on the property from the date of handover, as the builder's insurance will not cover you for any loss or damage after that time.

Please read the entire report. Refer to the terms & conditions as they form part of the report.

Table of Contents



1. INSPECTION INFORMATION



2. INTERIOR - CHECKED ITEMS



3. EXTERIOR - CHECKED ITEMS

Report Summary

Below Is A Summary Of the Report.

This is only a summary of the report and should not be relied on solely.

We strongly recommend you read the report in its entirety.

Section	Location	Name	Comment
INTERIOR - CHECKED ITEMS	Finishing Carpentry	Observations	Rectification work require - Striker plates not installed.
INTERIOR - CHECKED ITEMS	Air-Con	Observations	Rectification work required - In progress.
INTERIOR - CHECKED ITEMS	Paint Touch Ups	Overall Condition	Rectification work required - incomplete paint touch ups throughout.
EXTERIOR - CHECKED ITEMS	Eaves	Eave Condition	In progress - Incomplete paint finish.

INSPECTION INFORMATION

Weather at Inspection Area

Weather Conditions

The weather was Fine and Dry at the time of the building inspection.

Property Information

Direction House Faces

The dwelling faces East for the purposes of this inspection report.

Building Type

The dwelling is a Residential House.

Roof Cladding

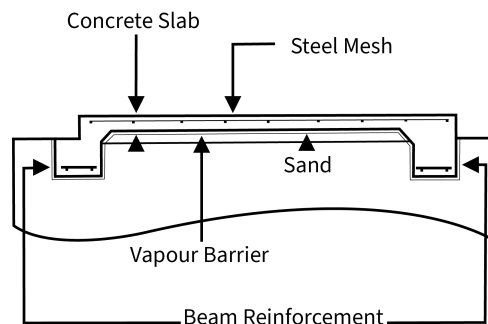
The roof is metal.

Roof Design

The roof is a Pitched roof design.

Footings Type

Slab on ground footing construction.



Storeys

Single level dwelling.

People Present

Client - as named in report.

Site Supervisor/Manager/Builder



INTERIOR - CHECKED ITEMS

Electrical Fit Off

Observations

Electrical fit off complete and acceptable.

Finishing Carpentry

Observations

Rectification work require - Striker plates not installed.



Air-Con

Observations

Rectification work required - In progress.

Shower Screens

Observations

Shower screens have been completed.

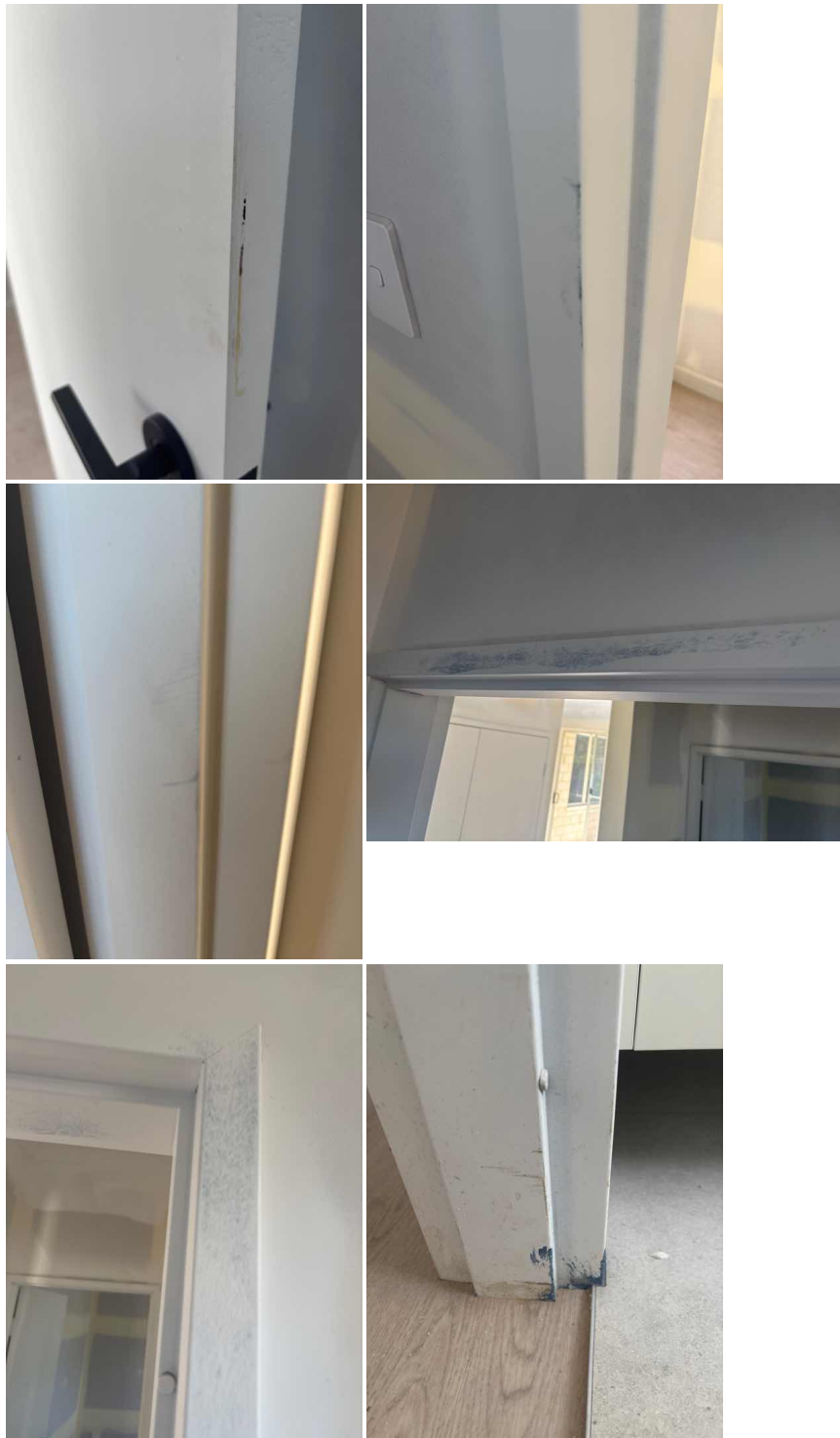


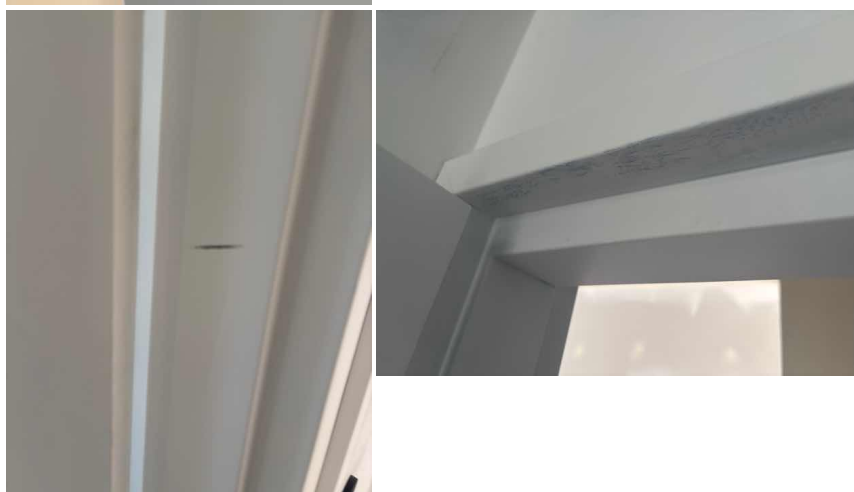
Paint Touch Ups

Overall Condition

Rectification work required - incomplete paint touch ups throughout.









Rectification work required



Towel Rail/s / Toilet Roll Holders

Overall Condition

The standard of this room is acceptable





EXTERIOR - CHECKED ITEMS

Eaves

Eave Condition

In progress - Incomplete paint finish.



Down Pipes

Overall Condition

The fascia/barge boards are complete in accordance with plans and acceptable.

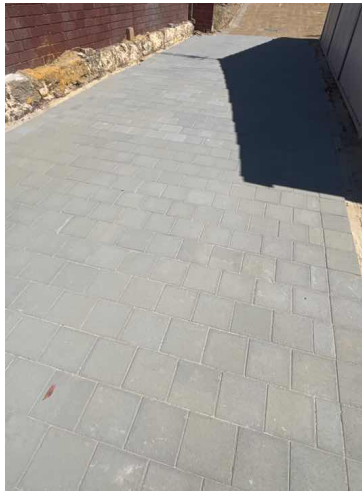




Paving

Overall Condition

The alfresco ceiling and post are complete in accordance with plans and acceptable.





TERMS AND CONDITIONS

SCOPE OF REPORT

This report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

In relying upon this report you should read and understand the following important information in conjunction with our inspection agreement Terms and Conditions: surebuildinginspections.au/terms-conditions

The purpose of this report is to document the progress and/or completion of a particular phase/stage in a construction process. This report is not a report of compliance with any Construction Code or Australian standard, but a simple record of where the level of construction is. This report is not a certificate of compliance and is not a defect report. In certain States in Australia Mandatory or Critical Staged inspections are conducted by Council, Principal Certifying Authority (PCA) and Registered building inspectors.

This report does not override or contravene a report from any relevant authority.

DEFINITIONS AND TERMINOLOGY

Completed: The progress of a particular stage of construction has been completed in accordance with any documents provided.

Incomplete/Contrary to plans: The progress of a particular stage of construction has been not completed or is not in accordance with any documents provided.

In Progress: The progress of a particular stage of construction is still in progress and has yet to be completed.

Not Applicable: Not applicable according to the type of construction and/or documents provided.

Accessible Area: Is any area of the property and structures allowing the inspector safe and reasonable access within the scope of the inspection.

Limitation: A factor that prevents full or proper inspection of the building.

LIMITATIONS

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.0-2007. The purpose of the inspection is to provide advice the client regarding the condition of the property construction at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor inspect and test these services. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects.

Neither SURE Building Inspections or the Inspector will be held responsible for areas of specialised knowledge.

SAFE AND REASONABLE ACCESS

Only areas to which safe and reasonable access is available were inspected. The Australian Standard AS4349.0 defines reasonable access as "areas where safe, unobstructed access " is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers. Reasonable access does not include the use of destructive or invasive inspection methods and does not include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior- Access opening 400 x 500 mm - Crawl Space 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior- Must be accessible from a 3.6m ladder placed on the ground.

NO GUARANTEE

Accordingly this report is not a guarantee that defects and/or damage do not exist in any inaccessible or partly inaccessible areas or sections of the property. Such matters may upon request be covered under the terms of a special purpose property report.

SURFACE WATER AND DRAINAGE

The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Have water directed away from the house or to storm water pipes by a licensed drainage plumber. The general adequacy of site drainage efficiency is not included in the standard property inspection report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time; surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this report are relevant only to the conditions present at the time of inspection.

RETAINING WALLS

Garden retaining wall/s more than 700mm high and load bearing retaining wall/s should have been installed with engineering design and supervision. Only the visual areas of retaining wall/s found on the site were inspected. The future performance of these wall/s is not the subject of a standard property report and should be further investigated with regard to the following items, adequate drainage systems, adequate load bearing, correct component sizing and batter.

DISCLAIMER OF LIABILITY

No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

No Liability shall be accepted on an account of failure of the Report to notify any compliance issues relating to this structure and report.

COMPLAINTS PROCEDURE

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, You must notify Us as soon as possible of the dispute or claim by email or mail. You must allow Us (which includes persons nominated by Us) to visit the property (which visit must occur within twenty eight (28) days of your notification to Us) and give Us full access in order that We may fully investigate the complaint. You will be provided with a written response to your dispute or claim within twenty eight (28) days of the date of the inspection.

If You are not satisfied with our response You must within twenty one (21) days of Your receipt of Our written response refer the matter to a Mediator nominated by Us from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties or as agreed as part of the mediated settlement.

In the event You do not comply with the above Complaints Procedure and commence litigation against Us then You agree to fully indemnify Us against any awards, costs, legal fees and expenses incurred by Us in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

Contact the inspector

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspection and Report was carried out by: Kim Steele (K.Steele & Sons Pty Ltd)

Contact the Inspector on: 0411 323 825

For and on Behalf of: SURE Building Inspections

